



Engineer's Report
2025 O'Neil Road Improvements
City Project No. 25-02

February 26, 2025

CERTIFICATION

I hereby certify that this report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Erin McPhee Anderson Date: 02/26/2025
Erin McPhee Anderson, PE

STATEMENT OF BENEFIT

This project benefits the properties proposed to be assessed. According to Wisconsin State Statutes 66.0703, the City of Hudson intends to exercise its police power to collect special assessments for this project. Attached to this report in Appendix A is the schedule of proposed assessments.

Introduction

The City of Hudson is planning to rehabilitate approximately 0.6 miles of O'Neil Road from Hanley Road to Tower Road. The driving force behind this project is to address the rapidly deteriorating pavement, which is affecting the road users and businesses in this industrial park. The recommended improvements include pavement reclamation, concrete curb and gutter reconstruction, a proposed pavement section that meets the needs of the traffic demands, and the construction of an eight-foot wide bituminous shared-use path.

Recommendations

Roadway Improvements

O'Neil Road is a collector street that serves approximately 3,100 vehicles per day as determined by the radar recorder analysis completed by City of Hudson Engineering Department in November 2024. It is a main corridor for the St. Croix Business Park, which contains many commercial and industrial businesses.

The street pavement PASER rating is two out of ten, with one being the poorest condition and ten being the best. The pavement is nearing the end of its useful life before needing full reconstruction. The full-depth reclamation (FDR) process will be used to repair the deteriorating pavement in the most economical way. The FDR process is a cost-effective option for asphalt pavement rehabilitation, while still providing a long-term solution for improvements. This option is also a more sustainable approach, as it eliminates the need for full removal and hauling of the existing pavement material.

The existing concrete curb and gutter was evaluated and it was determined that a full replacement along the project limits would be necessary due to the deterioration.

Pedestrian Improvements

Currently, no pedestrian facilities exist within the confines of the project area. An 8-foot wide shared-use path will be installed as part of the project. The trail will connect the Hanley Road trail system to Tower Road, providing a safe route for pedestrians and cyclists to traverse through the business park. Additionally, this trail may serve future development opportunities to the south of the project site.

The trail is planned for the west side of O'Neil Road. This was determined to be the best side of the street based on the existing ground slopes and private utility relocation.

Drainage and Utility Improvements

Minor storm sewer, sanitary sewer, and watermain improvements will be made within the project corridor as outlined below.

Condition assessments performed by staff have identified public utilities that will need to be repaired as part of this project. Gate valve, manhole, and catch basin adjustments are needed to accommodate the paving process and minor changes in elevation.

A total of six (6) fire hydrants will need to be relocated in order to accommodate the installation of the shared-use path.

Funding

Capital Improvement Program

The roadway improvements will be partially funded by the City's 2025-2026 Infrastructure Capital Improvement Plan (CIP). The storm sewer, sanitary sewer and watermain improvements will be funded with city utility funds.

Special Assessments

The City of Hudson's Special Assessment Policy applies to the project activities according to the following schedule:

- Curb and Gutter - 50% of the cost of replacement, including removal of existing curb and gutter and replacement with new concrete curb and gutter.
- Driveway Replacement – 100% of the cost of replacement, including removal of the existing driveway and replacement with a new concrete or bituminous driveway.

The assessments include the material and labor costs of the construction of each assessable item. Additionally, Planning and Administration Fees are collected to offset the time spent by city staff to prepare project-related work, such as project accounting, project correspondence, public hearings, and other work not directly related to the engineering tasks associated with the project. The Planning and Administration Fees are calculated as follows:

- 1.5% on first \$250,000 of total assessable costs
- 1.3% on next \$750,000
- 1.1% on next \$1,000,000
- 1.0% on next \$1,000,000
- 0.8% on next \$1,000,000
- 0.6% on remainder

Since this project has an estimated assessable cost of under \$250,000, the rate used to calculate the Planning and Administration Fees is 1.5%.

A detailed breakdown of the preliminary assessment calculations is provided in **Appendix A**. The assessment amounts utilize the unit prices from the engineers' estimate, which considers the average unit pricing from the previous year's bidding environment. The preliminary assessment quantities may change based on field conditions during construction or requests from property owners. Final project costs and assessments will be determined at the time of project close-out.

A summary of the project funding is shown below. The estimate was based on the plans and specifications shown in **Appendix B**.

Estimated Expenses:

O'Neil Road Construction	\$1,400,000
Engineering Costs:	\$200,000
Total Project Costs:	\$1,600,000

Funding:

Special Assessments	\$176,000
Infrastructure CIP Funds	\$1,316,000
Stormwater Utility Funds	\$33,000
Water and Sanitary Funds	\$75,000
Total Project Funding:	\$1,600,000

The 2025 O'Neil Road Improvements project will be advertised for bid in March 2025 and the Common Council is anticipated to award the construction contract to the lowest responsible bidder at its April 7th, 2025, regular council meeting.

Summary

The recommended project improvements include the following along O'Neil Road from Hanley Road to Tower Road

- Full-Depth Reclamation and asphalt paving.
- Concrete curb and gutter replacement.
- 8-foot wide bituminous shared-use path construction.
- Minor utility improvements based on condition assessment and to accommodate the proposed design.

APPENDIX A
Schedule of Proposed Assessments

PROPOSED ASSESSMENT CALCULATIONS

PROJECT NAME: 2025 O'Neil Road Improvements

PROJECT NUMBER: 25-02

RATES USED: Engineer's Estimate

Assessment Policy Version: 3/18/2024

TOTAL ESTIMATED CONSTRUCTION COST \$ 1,600,000.00

SPECIAL ASSESSMENT ADMINISTRATIVE RATE 1.5%

TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST			
1	Feng Fred/Jennie Ho Hsiao	2001 O'Neil Rd	236-1981-01-001	<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60			
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	24.58	\$ 294.96	50%	\$ 147.48			
				<i>DRIVEWAY - RECONSTRUCTION</i>									
				REMOVE CONCRETE SURFACE	SQ YD	\$ 15.00	7.08	\$ 106.25	100%	\$ 106.25			
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.80	\$ 9.00	100%	\$ 9.00			
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	7.83	\$ 46.98	100%	\$ 46.98			
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	77.42	\$ 929.04	100%	\$ 929.04			
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	0.83	\$ 37.49	100%	\$ 37.49			
										SUBTOTAL	\$ 1,526.67		
										CONTINGENCY (5%)	\$ 76.33		
										PLANNING AND ADMINISTRATION FEE	\$ 22.90		
										TOTAL ASSESSMENT	\$ 1,625.90		
2	Revive Restoration LLC	2003 O'Neil Rd	236-1981-01-002	<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60			
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	24.58	\$ 294.96	50%	\$ 147.48			
				<i>DRIVEWAY - RECONSTRUCTION</i>									
				REMOVE CONCRETE SURFACE	SQ YD	\$ 15.00	7	\$ 106.25	100%	\$ 106.25			
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.8	\$ 9.00	100%	\$ 9.00			
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										SUBTOTAL	\$ 1,526.67		
										CONTINGENCY (5%)	\$ 76.33		
										PLANNING AND ADMINISTRATION FEE	\$ 22.90		
										TOTAL ASSESSMENT	\$ 1,625.90		
3	Oneil Properties LLC	2005 O'Neil Rd	236-1981-01-003	<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60			
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	24.58	\$ 294.96	50%	\$ 147.48			
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				REMOVE CONCRETE SURFACE	SQ YD	\$ 15.00	7	\$ 106.25	100%	\$ 106.25			
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.8	\$ 9.00	100%	\$ 9.00			
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	7.83	\$ 46.98	100%	\$ 46.98			
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				<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84			
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				<i>DRIVEWAY - RECONSTRUCTION</i>									
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PROPOSED ASSESSMENT CALCULATIONS

PROJECT NAME: 2025 O'Neil Road Improvements

PROJECT NUMBER: 25-02

RATES USED: Engineer's Estimate

Assessment Policy Version: 3/18/2024

TOTAL ESTIMATED CONSTRUCTION COST \$ 1,600,000.00

SPECIAL ASSESSMENT ADMINISTRATIVE RATE 1.5%

TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST		
4	Oneil Properties LLC	2007 O'Neil Rd	236-1981-01-004	REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.8	\$ 9.00	100%	\$ 9.00		
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	7.83	\$ 46.98	100%	\$ 46.98		
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	77.42	\$ 929.04	100%	\$ 929.04		
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	0.83	\$ 37.49	100%	\$ 37.49		
											SUBTOTAL	\$ 1,526.67
											CONTINGENCY (5%)	\$ 76.33
											PLANNING AND ADMINISTRATION FEE	\$ 22.90
							TOTAL ASSESSMENT	\$ 1,625.90				
5	Nova Innovation Properties LLC	2009 O'Neil Rd	236-1981-01-005	<i>CURB & GUTTER - RECONSTRUCTION</i>								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60		
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	24.58	\$ 294.96	50%	\$ 147.48		
				<i>DRIVEWAY - RECONSTRUCTION</i>								
				REMOVE CONCRETE SURFACE	SQ YD	\$ 15.00	7	\$ 106.25	100%	\$ 106.25		
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.8	\$ 9.00	100%	\$ 9.00		
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											SUBTOTAL	\$ 1,526.67
											CONTINGENCY (5%)	\$ 76.33
											PLANNING AND ADMINISTRATION FEE	\$ 22.90
											TOTAL ASSESSMENT	\$ 1,625.90
6	Nova Innovation Properties LLC	2011 O'Neil Rd	236-1981-01-006	<i>CURB & GUTTER - RECONSTRUCTION</i>								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60		
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				<i>DRIVEWAY - RECONSTRUCTION</i>								
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				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.8	\$ 9.00	100%	\$ 9.00		
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											CONTINGENCY (5%)	\$ 76.33
											PLANNING AND ADMINISTRATION FEE	\$ 22.90
											TOTAL ASSESSMENT	\$ 1,625.90
7	DCM Innovations LLC	2013 O'Neil Rd	236-1981-01-007	<i>CURB & GUTTER - RECONSTRUCTION</i>								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60		
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PROPOSED ASSESSMENT CALCULATIONS

PROJECT NAME: 2025 O'Neil Road Improvements

PROJECT NUMBER: 25-02

RATES USED: Engineer's Estimate

Assessment Policy Version: 3/18/2024

TOTAL ESTIMATED CONSTRUCTION COST \$ 1,600,000.00

SPECIAL ASSESSMENT ADMINISTRATIVE RATE 1.5%

TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST		
										PLANNING AND ADMINISTRATION FEE \$ 22.90		
										TOTAL ASSESSMENT \$ 1,625.90		
8	DCM Innovations LLC	2015 O'Neil Rd	236-1981-01-008	CURB & GUTTER - RECONSTRUCTION								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60		
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												SUBTOTAL \$ 1,526.67
												CONTINGENCY (5%) \$ 76.33
												PLANNING AND ADMINISTRATION FEE \$ 22.90
												TOTAL ASSESSMENT \$ 1,625.90
9	Oneil Properties LLC	2017 O'Neil Rd	236-1981-01-009	CURB & GUTTER - RECONSTRUCTION								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60		
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												SUBTOTAL \$ 1,526.67
												CONTINGENCY (5%) \$ 76.33
												PLANNING AND ADMINISTRATION FEE \$ 22.90
												TOTAL ASSESSMENT \$ 1,625.90
10	Mijo Investments LLC	2019 O'Neil Rd	236-1981-01-010	CURB & GUTTER - RECONSTRUCTION								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60		
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	24.58	\$ 294.96	50%	\$ 147.48		
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												PLANNING AND ADMINISTRATION FEE \$ 22.90
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				CURB & GUTTER - RECONSTRUCTION								
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84		
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TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST			
11	Lindquist Enterprises LLC	2021 O'Neil Rd	236-1981-01-011	<i>DRIVEWAY - RECONSTRUCTION</i>									
				REMOVE CONCRETE SURFACE	SQ YD	\$ 15.00	7	\$ 106.25	100%	\$ 106.25			
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	1.8	\$ 9.00	100%	\$ 9.00			
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	7.83	\$ 46.98	100%	\$ 46.98			
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										SUBTOTAL	\$ 1,526.67		
										CONTINGENCY (5%)	\$ 76.33		
										PLANNING AND ADMINISTRATION FEE	\$ 22.90		
										TOTAL ASSESSMENT	\$ 1,625.90		
12	Lindquist Enterprises LLC	2023 O'Neil Rd	236-1981-01-012	<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	25.61	\$ 153.67	50%	\$ 76.84			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	15.78	\$ 347.20	50%	\$ 173.60			
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						PLANNING AND ADMINISTRATION FEE	\$ 22.90						
						TOTAL ASSESSMENT	\$ 1,625.90						
13	Jeffrey S/Susan E Roberts	2821 Harvey St	236-1981-02-000	<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	160	\$ 960.00	50%	\$ 480.00			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	99	\$ 2,178.00	50%	\$ 1,089.00			
				REMOVE CURB & GUTTER	LIN FT	\$ 10.00	140	\$ 1,400.00	25%	\$ 350.00			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	140	\$ 3,080.00	25%	\$ 770.00			
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	152.5	\$ 1,830.00	50%	\$ 915.00			
				<i>DRIVEWAY - RECONSTRUCTION</i>									
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	48	\$ 240.00	100%	\$ 240.00			
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	48	\$ 288.00	100%	\$ 288.00			
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	371.5	\$ 4,458.00	100%	\$ 4,458.00			
PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	5.67	\$ 255.00	100%	\$ 255.00							
						SUBTOTAL	\$ 8,845.00						
						CONTINGENCY (5%)	\$ 442.25						
						PLANNING AND ADMINISTRATION FEE	\$ 132.68						
						TOTAL ASSESSMENT	\$ 9,419.93						
14	Jolu Property Management LLC	2800 Enloe St	236-1981-15-000	<i>CURB & GUTTER - RECONSTRUCTION</i>									
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	160	\$ 960.00	50%	\$ 480.00			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	160	\$ 3,520.00	50%	\$ 1,760.00			
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	140	\$ 840.00	25%	\$ 210.00			
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	140	\$ 3,080.00	25%	\$ 770.00			
										SUBTOTAL	\$ 3,220.00		
						CONTINGENCY (5%)	\$ 161.00						
						PLANNING AND ADMINISTRATION FEE	\$ 48.30						
						TOTAL ASSESSMENT	\$ 3,429.30						

PROPOSED ASSESSMENT CALCULATIONS

PROJECT NAME: 2025 O'Neil Road Improvements

PROJECT NUMBER: 25-02

RATES USED: Engineer's Estimate

Assessment Policy Version: 3/18/2024

TOTAL ESTIMATED CONSTRUCTION COST \$ 1,600,000.00

SPECIAL ASSESSMENT ADMINISTRATIVE RATE 1.5%

TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	685	\$ 8,220.00	100%	\$ 8,220.00
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	7.11	\$ 320.00	100%	\$ 320.00
									SUBTOTAL	\$ 11,104.00
									CONTINGENCY (5%)	\$ 555.20
									PLANNING AND ADMINISTRATION FEE	\$ 166.56
									TOTAL ASSESSMENT	\$ 11,825.76
				<i>CURB & GUTTER - RECONSTRUCTION</i>						
19	Crestwood LLP	2900 Enloe St		REMOVE CURB & GUTTER	LIN FT	\$ 6.00	140	\$ 840.00	25%	\$ 210.00
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	140	\$ 3,080.00	25%	\$ 770.00
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	90	\$ 540.00	50%	\$ 270.00
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 28.00	90	\$ 2,520.00	50%	\$ 1,260.00
									SUBTOTAL	\$ 980.00
									CONTINGENCY (5%)	\$ 49.00
									PLANNING AND ADMINISTRATION FEE	\$ 14.70
									TOTAL ASSESSMENT	\$ 1,043.70
				<i>CURB & GUTTER - RECONSTRUCTION</i>						
20	Oneil Los LLC	2310 O'Neil Rd	236-1982-17-000	REMOVE CURB & GUTTER	LIN FT	\$ 6.00	420.93	\$ 2,525.58	50%	\$ 1,262.79
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	328.93	\$ 7,236.46	50%	\$ 3,618.23
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	230	\$ 2,760.00	50%	\$ 1,380.00
				<i>DRIVEWAY - RECONSTRUCTION</i>						
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	87	\$ 435.00	100%	\$ 435.00
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	57	\$ 342.00	100%	\$ 342.00
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	772	\$ 9,264.00	100%	\$ 9,264.00
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	7.67	\$ 345.00	100%	\$ 345.00
									SUBTOTAL	\$ 16,647.02
									CONTINGENCY (5%)	\$ 832.35
									PLANNING AND ADMINISTRATION FEE	\$ 249.71
									TOTAL ASSESSMENT	\$ 17,729.08
				<i>CURB & GUTTER - RECONSTRUCTION</i>						
21	Larry R Cramer Rev Trust	2100 O'Neil Rd	236-1982-25-000	REMOVE CURB & GUTTER	LIN FT	\$ 6.00	162	\$ 972.00	50%	\$ 486.00
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	103	\$ 2,266.00	50%	\$ 1,133.00
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	140	\$ 840.00	25%	\$ 210.00
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	140	\$ 3,080.00	25%	\$ 770.00
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	147.5	\$ 1,770.00	50%	\$ 885.00
				<i>DRIVEWAY - RECONSTRUCTION</i>						
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 3.00	58	\$ 174.00	100%	\$ 174.00
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	48	\$ 288.00	100%	\$ 288.00
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	506	\$ 6,066.00	100%	\$ 6,066.00
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	6.00	\$ 270.00	100%	\$ 270.00
									SUBTOTAL	\$ 10,282.00
									CONTINGENCY (5%)	\$ 514.10
									PLANNING AND ADMINISTRATION FEE	\$ 154.23
									TOTAL ASSESSMENT	\$ 10,950.33
				<i>CURB & GUTTER - RECONSTRUCTION</i>						
22	Ohkool Investments LLC		236-1975-18-102	REMOVE CURB & GUTTER	LIN FT	\$ 6.00	187.85	\$ 1,127.10	50%	\$ 563.55
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	187.85	\$ 4,132.70	50%	\$ 2,066.35
									SUBTOTAL	\$ 2,629.90
									CONTINGENCY (5%)	\$ 131.50

PROPOSED ASSESSMENT CALCULATIONS

PROJECT NAME: 2025 O'Neil Road Improvements

PROJECT NUMBER: 25-02

RATES USED: Engineer's Estimate

Assessment Policy Version: 3/18/2024

TOTAL ESTIMATED CONSTRUCTION COST \$ 1,600,000.00

SPECIAL ASSESSMENT ADMINISTRATIVE RATE 1.5%

TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST	
								PLANNING AND ADMINISTRATION FEE		\$ 39.45	
								TOTAL ASSESSMENT		\$ 2,800.84	
23	Daniel W/Sarah E Kubic		236-2025-01-125	<i>CURB & GUTTER - RECONSTRUCTION</i>							
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	355	\$ 2,130.00	25%	\$ 532.50	
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	355	\$ 7,810.00	25%	\$ 1,952.50	
										SUBTOTAL	\$ 2,485.00
										CONTINGENCY (5%)	\$ 124.25
										PLANNING AND ADMINISTRATION FEE	\$ 37.28
										TOTAL ASSESSMENT	\$ 2,646.53
24	St Croix Property Partners LLC	2010 O'Neil Rd	236-1982-26-000	<i>CURB & GUTTER - RECONSTRUCTION</i>							
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	199.3	\$ 1,195.80	50%	\$ 597.90	
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	82.3	\$ 1,810.60	50%	\$ 905.30	
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	292.5	\$ 3,510.00	50%	\$ 1,755.00	
				<i>DRIVEWAY - RECONSTRUCTION</i>							
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	87	\$ 435.00	100%	\$ 435.00	
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	84	\$ 504.00	100%	\$ 504.00	
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	817.5	\$ 9,810.00	100%	\$ 9,810.00	
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	9.22	\$ 415.00	100%	\$ 415.00	
										SUBTOTAL	\$ 14,422.20
										CONTINGENCY (5%)	\$ 721.11
										PLANNING AND ADMINISTRATION FEE	\$ 216.33
										TOTAL ASSESSMENT	\$ 15,359.64
25	Kobra Wisconsin Properties LLC	2801 Enloe St	236-1981-10-100	<i>CURB & GUTTER - RECONSTRUCTION</i>							
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	300	\$ 1,800.00	25%	\$ 450.00	
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	237	\$ 5,214.00	25%	\$ 1,303.50	
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	157.5	\$ 1,890.00	50%	\$ 945.00	
				<i>DRIVEWAY - RECONSTRUCTION</i>							
				REMOVE CONCRETE SURFACE	SQ YD	\$ 15.00	37	\$ 555.00	100%	\$ 555.00	
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	18	\$ 90.00	100%	\$ 90.00	
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	49	\$ 294.00	100%	\$ 294.00	
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	542.5	\$ 6,510.00	100%	\$ 6,510.00	
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	6.33	\$ 285.00	100%	\$ 285.00	
										SUBTOTAL	\$ 10,432.50
										CONTINGENCY (5%)	\$ 521.63
										PLANNING AND ADMINISTRATION FEE	\$ 156.49
						TOTAL ASSESSMENT	\$ 11,110.61				
26	Eric V Lawrence/Jamie M Lawrence	2201 O'Neil Rd	236-1981-09-101	<i>CURB & GUTTER - RECONSTRUCTION</i>							
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	148.5	\$ 891.00	50%	\$ 445.50	
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	86.5	\$ 1,903.00	50%	\$ 951.50	
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	155	\$ 1,860.00	50%	\$ 930.00	
				<i>DRIVEWAY - RECONSTRUCTION</i>							
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	55.0	\$ 275.00	100%	\$ 275.00	
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	49	\$ 294.00	100%	\$ 294.00	
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	528.5	\$ 6,342.00	100%	\$ 6,342.00	
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	6.06	\$ 272.50	100%	\$ 272.50	
										SUBTOTAL	\$ 9,510.50
										CONTINGENCY (5%)	\$ 475.53
										PLANNING AND ADMINISTRATION FEE	\$ 142.66

PROPOSED ASSESSMENT CALCULATIONS

PROJECT NAME: 2025 O'Neil Road Improvements
 PROJECT NUMBER: 25-02
 RATES USED: Engineer's Estimate
 Assessment Policy Version: 3/18/2024

TOTAL ESTIMATED CONSTRUCTION COST \$ 1,600,000.00

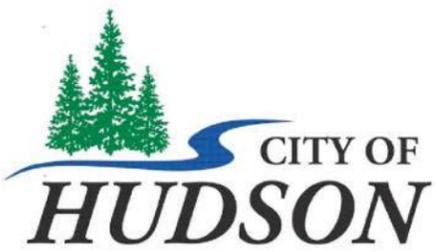
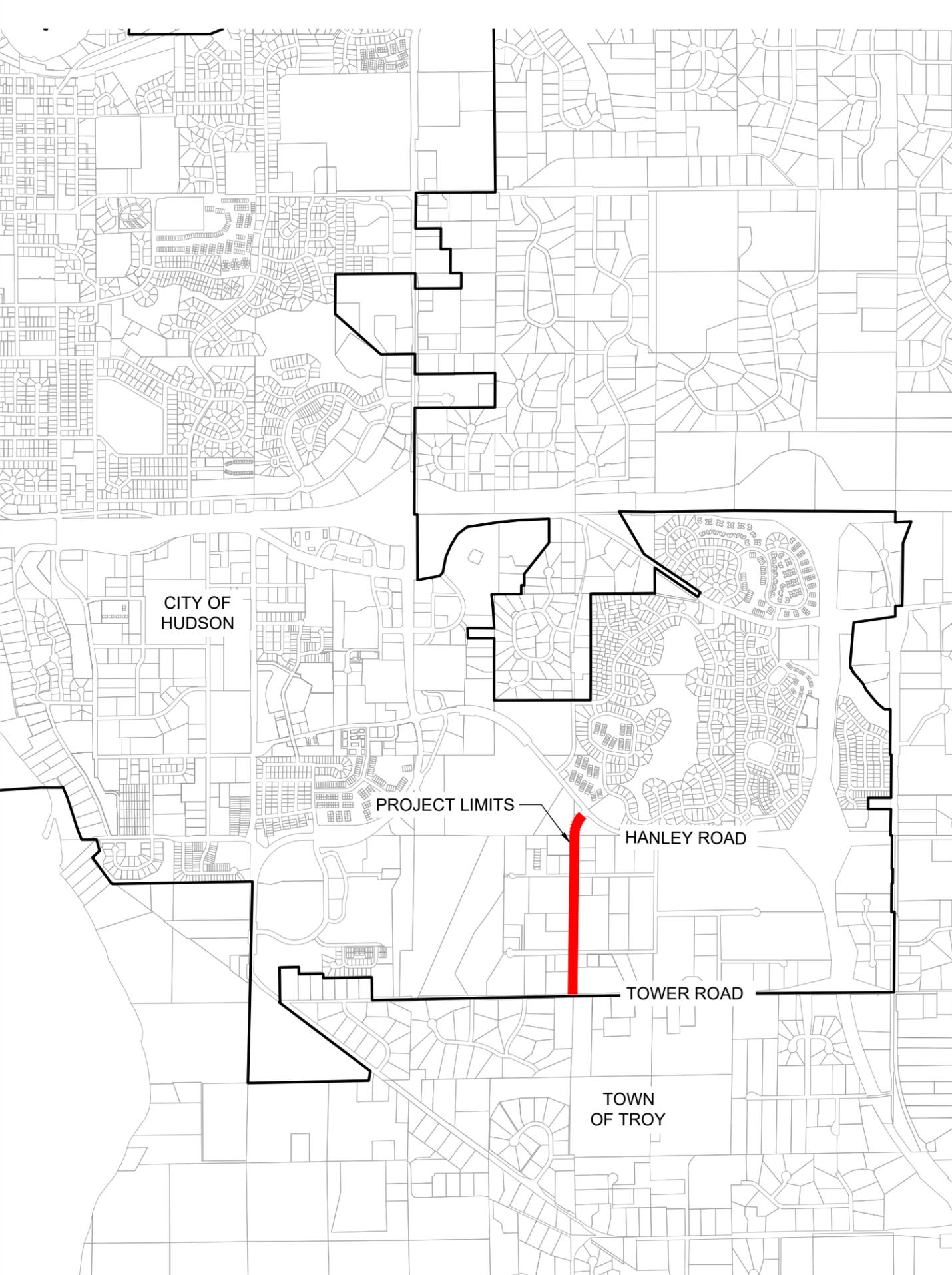
SPECIAL ASSESSMENT ADMINISTRATIVE RATE 1.5%

TOTAL ASSESSED TO ALL PROPERTIES \$ 175,866.87

NO.	PROPERTY OWNER NAME	PROPERTY ADDRESS	PARCEL ID	ITEM	UNIT	UNIT PRICE	QUANTITY	TOTAL COST	COST SHARE	TOTAL ASSESSABLE COST
									TOTAL ASSESSMENT	\$ 10,128.68
				<i>CURB & GUTTER - RECONSTRUCTION</i>						
				REMOVE CURB & GUTTER	LIN FT	\$ 6.00	148.5	\$ 891.00	50%	\$ 445.50
				CONCRETE CURB AND GUTTER 30-INCH TYPE D	LIN FT	\$ 22.00	86.5	\$ 1,903.00	50%	\$ 951.50
				COMMERCIAL CONCRETE APRON 7" (CURB)	SQ FT	\$ 12.00	155	\$ 1,860.00	50%	\$ 930.00
				<i>DRIVEWAY - RECONSTRUCTION</i>						
				REMOVE ASPHALT PAVEMENT	SQ YD	\$ 5.00	55.0	\$ 275.00	100%	\$ 275.00
				REMOVE CURB & GUTTER (DRIVEWAY)	LIN FT	\$ 6.00	49	\$ 294.00	100%	\$ 294.00
				COMMERCIAL CONCRETE APRON 7" (DRIVEWAY)	SQ FT	\$ 12.00	535	\$ 6,420.00	100%	\$ 6,420.00
				PATCH ASPHALT DRIVEWAY	SQ YD	\$ 45.00	6.06	\$ 272.50	100%	\$ 272.50
									SUBTOTAL	\$ 9,588.50
									CONTINGENCY (5%)	\$ 479.43
									PLANNING AND ADMINISTRATION FEE	\$ 143.83
									TOTAL ASSESSMENT	\$ 10,211.75

APPENDIX B
Plans and Specifications

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2025 O'NEIL ROAD IMPROVEMENTS

HANLEY ROAD TO TOWER ROAD

CITY PROJECT NO. 25-02

PAGE NUMBER	DESCRIPTION
1	TITLE SHEET
2	STATEMENT OF ESTIMATED QUANTITIES AND CONSTRUCTION NOTES
3-4	TYPICAL SECTIONS
5-7	STANDARD DETAIL PLATES
8-10	EROSION CONTROL
11-13	REMOVALS
14-19	PLAN AND PROFILE
20	INTERSECTION DETAILS
21-23	SIGNING AND PAVEMENT MARKING
24	TRAFFIC CONTROL PLAN
25-33	CROSS SECTIONS

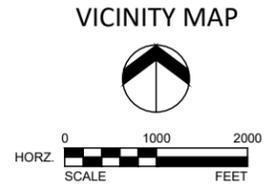
THIS PLAN CONTAINS 35 SHEETS

CITY OF HUDSON
ENGINEERING DEPARTMENT

DATE: XX/XX/XXXX _____
(Signature)

ORIGINAL PLANS PREPARED BY

DATE: XX/XX/XXXX _____
(Professional Engineer Signature)



- PROJECT NOTES:
- HORIZONTAL POSITIONS SHOWN ON THIS PLAN ARE WISCONSIN COUNTY COORDINATES, ST. CROIX COUNTY.
 - VERTICAL ELEVATIONS ARE BASED ON NAVD 88
 - THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.

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NO.	DESCRIPTION	UNIT	TOTAL QUANTITY	O'NEIL ROAD		
				STREET	STORM	UTILITIES
1	MOBILZATION	LUMP SUM	1	1	0	0
2	TRAFFIC CONTROL	LUMP SUM	1	1	0	0
3	TRAFFIC CONTROL PLAN	LUMP SUM	1	1	0	0
4	REMOVE CONCRETE CURB AND GUTTER	LF	7120	7120	0	0
5	REMOVE CONCRETE SURFACE	SQ YD	195	195	0	0
6	REMOVE ASPHALT PAVEMENT	SQ YD	1290	1290	0	0
7	REMOVE LANDSCAPING	SQ YD	550	550	0	0
8	REMOVE SIGN	EACH	20	20	0	0
9	CLEAR & GRUB	EACH	2	2	0	0
10	COMMON EXCAVATION (P)	CU YD	1800	1800	0	0
11	BORROW (P)	CU YD	0	0	0	0
12	SUBGRADE PREPARATION	SQ YD	11750	11750	0	0
13	FULL DEPTH RECLAMATION (12")	SQ YD	11750	11750	0	0
14	HAUL EXCESS RECLAIMED MATERIAL OFF SITE (EV)	CU YD	4450	4450	0	0
15	BASE AGGREGATE DENSE 1-1/4 INCH	CU YD	1350	1350	0	0
16	HMA PAVEMENT 4 HT 58-34 H (WEAR)	TON	2610	2610	0	0
17	HMA PAVEMENT (3 MT 58-28 S) (BINDER)	TON	1860	1860	0	0
18	HMA PAVEMENT 5 LT 58-34 S (TRAIL AND DRIVEWAY PATCHING)	TON	450	450	0	0
19	TACK COAT	GAL	910	910	0	0
20	CONCRETE CURB AND GUTTER (D30)	LIN FT	5400	5400	0	0
21	CONCRETE DRIVEWAY APRON 7-INCH	SQ FT	12200	12200	0	0
22	CONCRETE PEDESTRIAN CURB RAMP 6-INCH	SQ FT	800	800	0	0
23	CURB RAMP DETECTABLE WARNING FIELD - NATURAL PATINA	SQ FT	80	80	0	0
24	PAVEMENT MARKING EPOXY 4-INCH (YELLOW)	LF	850	850	0	0
25	PAVEMENT MARKING EPOXY 12-INCH (WHITE)	LF	194	194	0	0
26	PAVEMENT MARKING EPOXY 18-INCH (WHITE)	LF	28	28	0	0
27	SIGNS TYPE II REFLECTIVE H	SQ FT	70	70	0	0
28	SALVAGE SIGN	EACH	1	1	0	0
29	STREET NAME SIGN	EACH	8	8	0	0
30	SILT FENCE	LF	1000	0	1000	0
31	STORM DRAIN INLET PROTECTION	EACH	18	0	18	0
32	TEMPORARY CONSTRUCTION ENTRANCE	EACH	1	1	0	0
33	TOPSOIL BORROW - 6-INCH	CU YD	620	620	0	0
34	WISDOT SEED MIX NO. 40	LB	95	95	0	0
35	SOIL STABILIZER, TYPE A	SQ YD	4200	4200	0	0
36	SALVAGE AND REINSTALL MAILBOX	EACH	23	23	0	0
37	REMOVE WATERMAIN PIPE	LIN FT	64	0	0	64
38	SALVAGE AND REINSTALL HYDRANT	EACH	6	0	0	6
39	WATERMAIN 6" DIP CLASS 52	LIN FT	64	0	0	64
40	CONNECT TO EXISTING WATERMAIN	EACH	6	0	0	6
41	SALVAGE CASTING ASSEMBLY	EACH	4	0	4	0
42	CASTING ASSEMBLY (ADA GRATE)	EACH	4	0	4	0
43	ADJUST CATCH BASIN CASTING	EACH	12	0	12	0
44	ADJUST MANHOLE CASTING	EACH	15	0	7	8
45	ADJUST VALVE BOX	EACH	29	0	0	29

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE PRIVATE UTILITY COMPANIES, AS NECESSARY.
2. UTILITIES ENCOUNTERED IN THE PROJECT AREA SHALL BE PROTECTED. SUPPORTING UTILITY POLES, UNDERGROUND WIRES AND UNDERGROUND PIPES DURING CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL.
3. CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES.
4. THE CONTRACTOR SHALL CONTACT THE ADJACENT PROPERTY OWNERS TO DETERMINE IF IRRIGATION IS PRESENT IN TURF AREAS TO BE DISTURBED. THE CONTRACTOR SHALL PROTECT ALL IRRIGATION IF PRESENT. IF DAMAGED, IRRIGATION REPAIRS WILL BE CONSIDERED INCIDENTAL.
5. THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S CONSTRUCTION MEANS, CONTROLS, TECHNIQUES, SEQUENCE, PROCEDURES OR SAFETY.
6. THE CITY UTILITY DEPARTMENT SHALL BE CONTACTED PRIOR TO ANY WATERMAIN RELATED WORK AND PRIOR TO BACKFILLING UTILITY TRENCHES.
7. AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION OR DEMOLITION LIMITS SHOWN ON THE PLANS OR NOT DIRECTED BY THE ENGINEER, SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
8. ALL TOPSOIL, ORGANIC AND UNSUITABLE MATERIAL SHALL BE REMOVED PRIOR TO FILL MATERIAL BEING PLACED.
9. ALL GRADES AND ELEVATIONS ARE TO FINISHED GRADES, UNLESS NOTED OTHERWISE.
10. PROPERTY LINES AND EASEMENTS SHOWN ARE BASED ON SURVEYED PROPERTY PINS , RECORDED PLATS OR ST.CROIX COUNTY GIS INFORMATION.

REMOVAL NOTES

1. NO TREES, SHRUBS OR LANDSCAPING SHALL BE REMOVED PRIOR TO CONFIRMATION FROM THE ENGINEER.
2. THE CONTRACTOR SHALL SAWCUT ALL BITUMINOUS AND CONCRETE SURFACES PRIOR TO REMOVALS .
3. ALL EXCESS AND UNSUITABLE MATERIALS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OFF-SITE.

EROSION CONTROL NOTES

1. EROSION CONTROL PRACTICES SHALL BE IN PLACE BEFORE EXCAVATION OR RECLAMATION BEGINS.
2. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER RAINFALL EVENT OF 0.5 INCHES OR GREATER.
3. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
4. INSTALL INLET PROTECTION PRIOR TO ANY LAND-DISTURBING ACTIVITIES IN CONTRIBUTING DRAINAGE AREA.
5. STABILIZE ALL DISTURBED AREAS THAT REMAIN INACTIVE FOR 14 DAYS OR LONGER.
6. SWEEP ALL SEDIMENT AND TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
8. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
9. 6" TOPSOIL SHALL BE USED IN ALL SEEDING AREAS.
10. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006. REQUIRE USAGE OF ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED OR DISPOSED OF AS WASTEWATER.

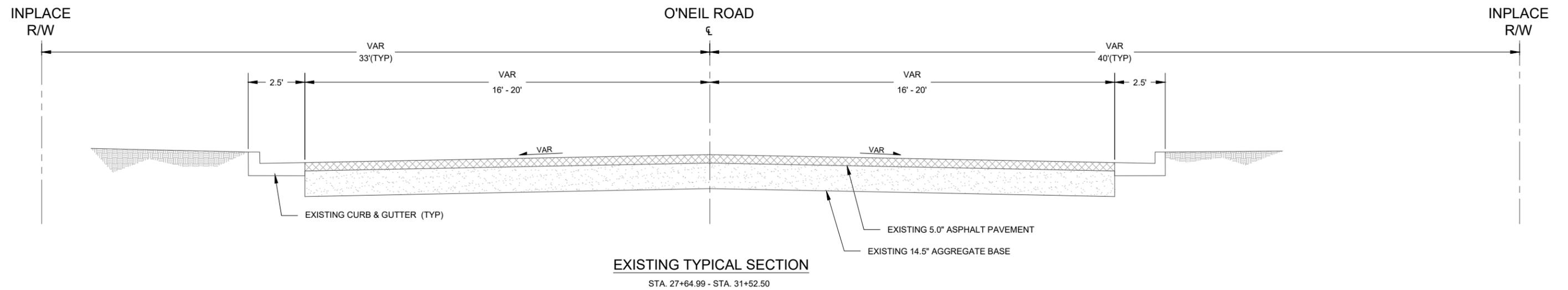
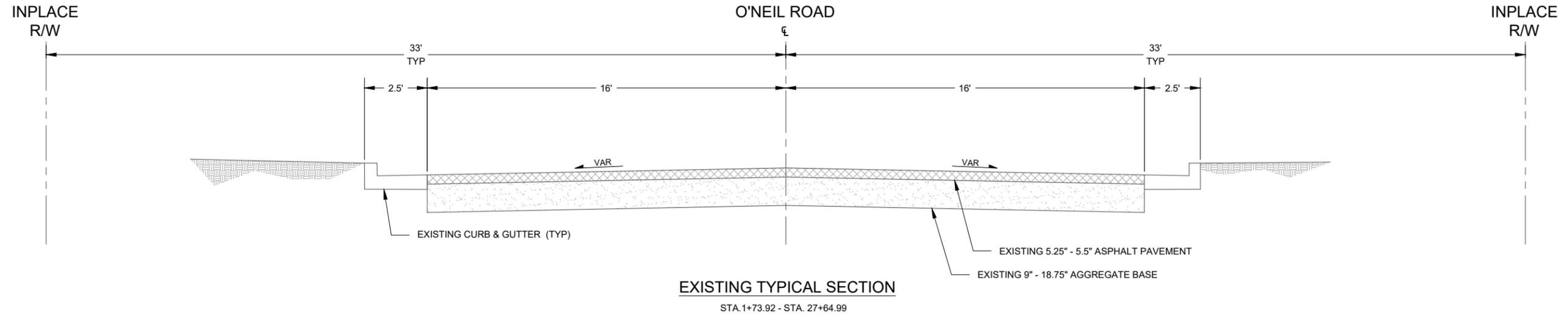
City Project	25-02	Rev.#	
Drawn By	MP		
Designed By	MP		
Checked By	EMA		

Revision Issue	Date	Rev.#	Description

Revision Issue	Date	Rev.#	Description



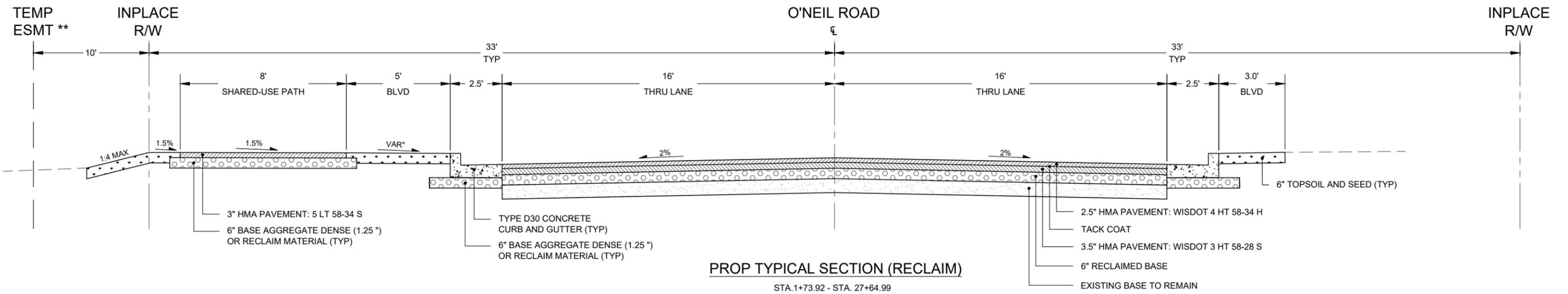
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City Project	25-02	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MP
Designed By	MP
Checked By	EMA

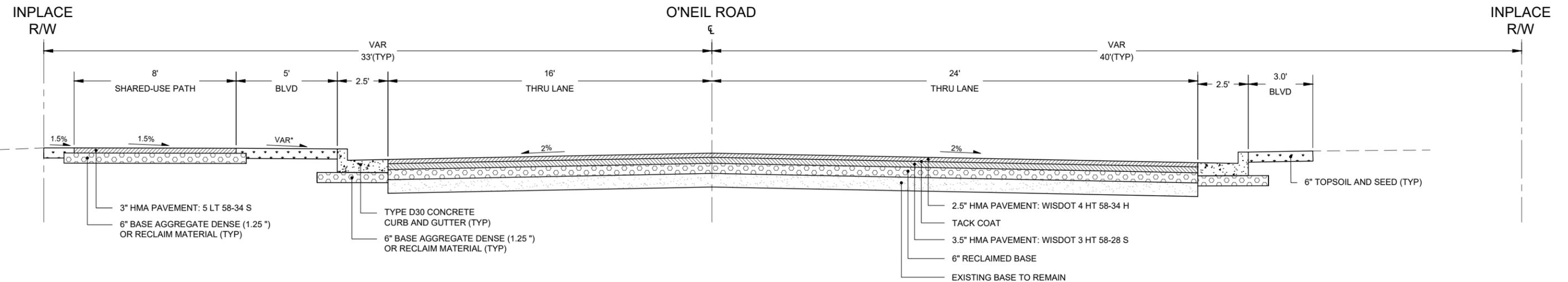


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* 6% TYPICAL BLVD SLOPE. SEE CROSS SECTION SHEETS FOR VARIATIONS.

** CONFIRM TEMP EASEMENT LOCATIONS WITH ENGINEER PRIOR TO STARTING REMOVALS.



* 6% TYPICAL BLVD SLOPE. SEE CROSS SECTION SHEETS FOR VARIATIONS.

** CONFIRM TEMP EASEMENT LOCATIONS WITH ENGINEER PRIOR TO STARTING REMOVALS.

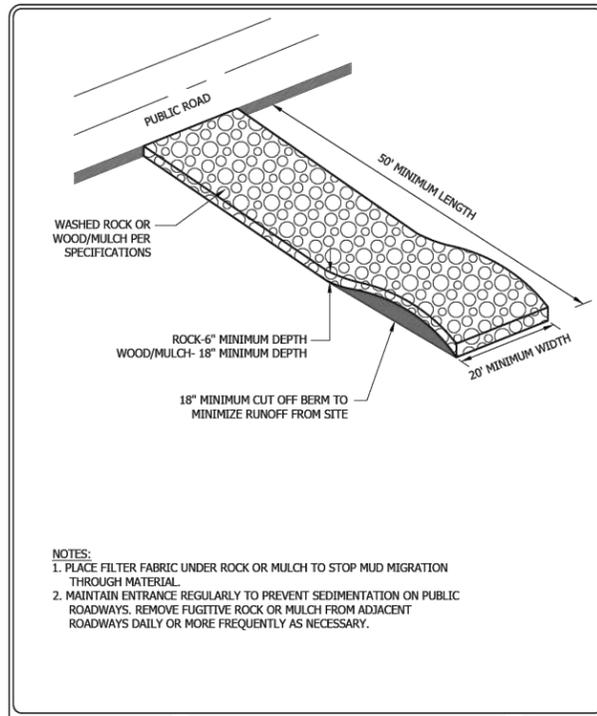
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2025 O'NEIL ROAD IMPROVEMENTS
HUDSON, WI

**O'NEIL ROAD
PROPOSED TYPICAL SECTIONS**

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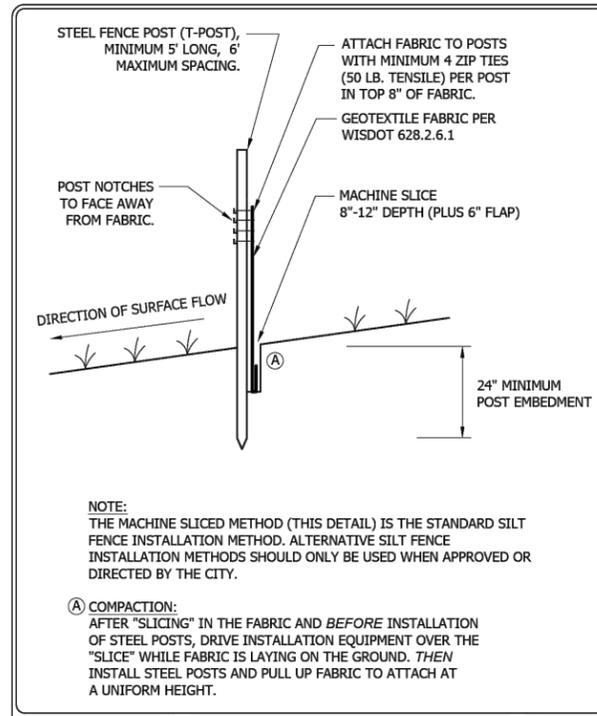


- NOTES:
1. PLACE FILTER FABRIC UNDER ROCK OR MULCH TO STOP MUD MIGRATION THROUGH MATERIAL.
 2. MAINTAIN ENTRANCE REGULARLY TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. REMOVE FUGITIVE ROCK OR MULCH FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

**CONSTRUCTION ENTRANCE -
ROCK OR WOOD / MULCH**

LAST REVISION:
March 2019

PLATE NO.
ERO-1



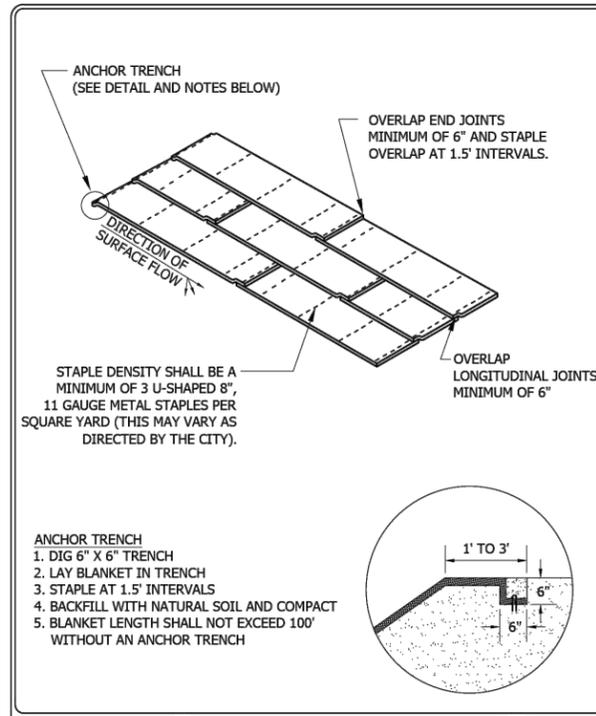
NOTE:
THE MACHINE SLICED METHOD (THIS DETAIL) IS THE STANDARD SILT FENCE INSTALLATION METHOD. ALTERNATIVE SILT FENCE INSTALLATION METHODS SHOULD ONLY BE USED WHEN APPROVED OR DIRECTED BY THE CITY.

(A) COMPACTION:
AFTER "SLICING" IN THE FABRIC AND BEFORE INSTALLATION OF STEEL POSTS, DRIVE INSTALLATION EQUIPMENT OVER THE "SLICE" WHILE FABRIC IS LAYING ON THE GROUND. THEN INSTALL STEEL POSTS AND PULL UP FABRIC TO ATTACH AT A UNIFORM HEIGHT.

SILT FENCE

LAST REVISION:
March 2019

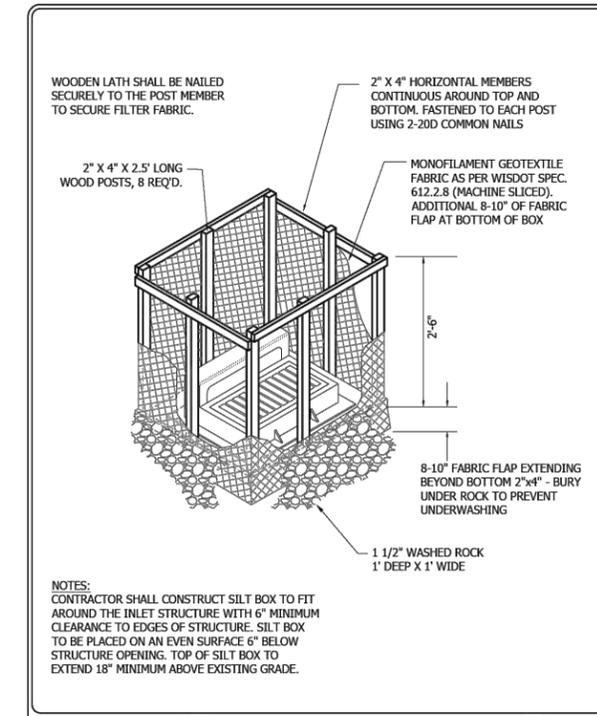
PLATE NO.
ERO-2



**EROSION MAT
INSTALLATION**

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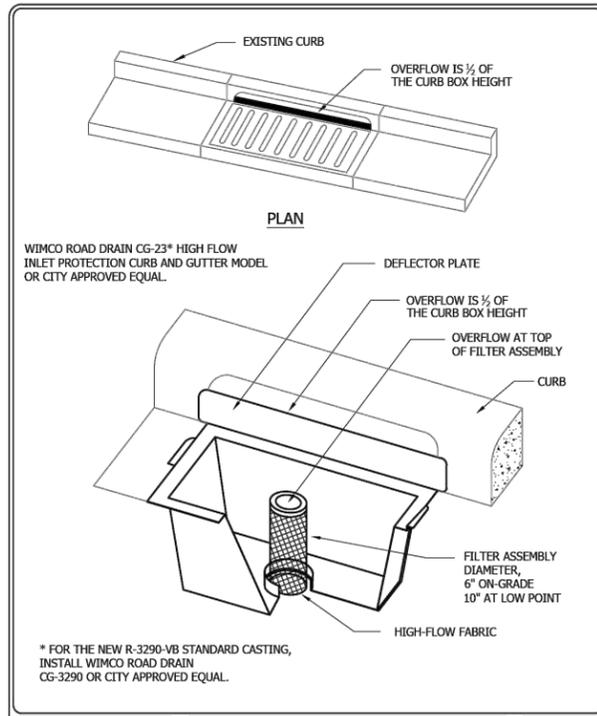
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ERO-4



**INLET PROTECTION
FOR CATCH BASIN**

LAST REVISION:
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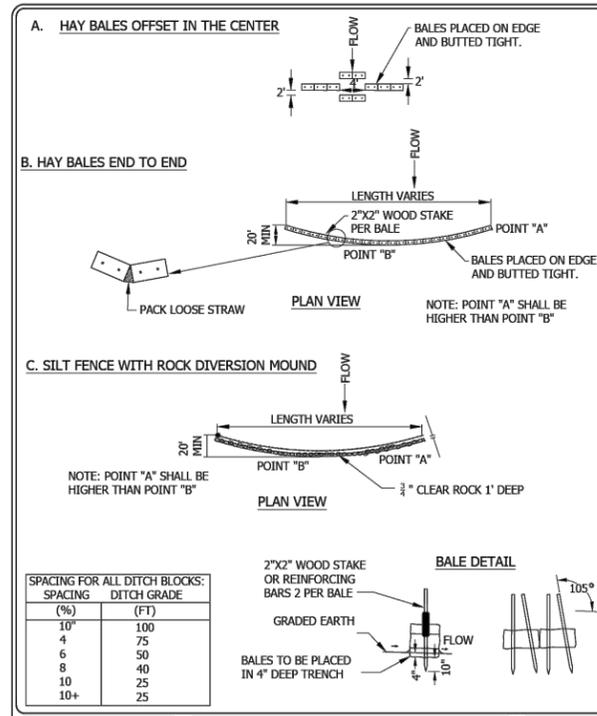
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ERO-5



**INLET PROTECTION
CATCH BASIN INSERT
AFTER PAVING**

LAST REVISION:
March 2019

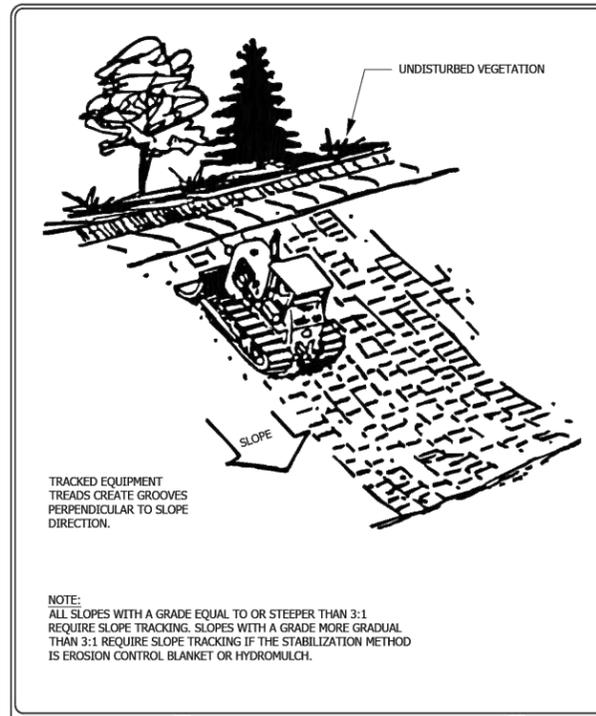
PLATE NO.
ERO-8



DITCH BLOCKING

LAST REVISION:
March 2019

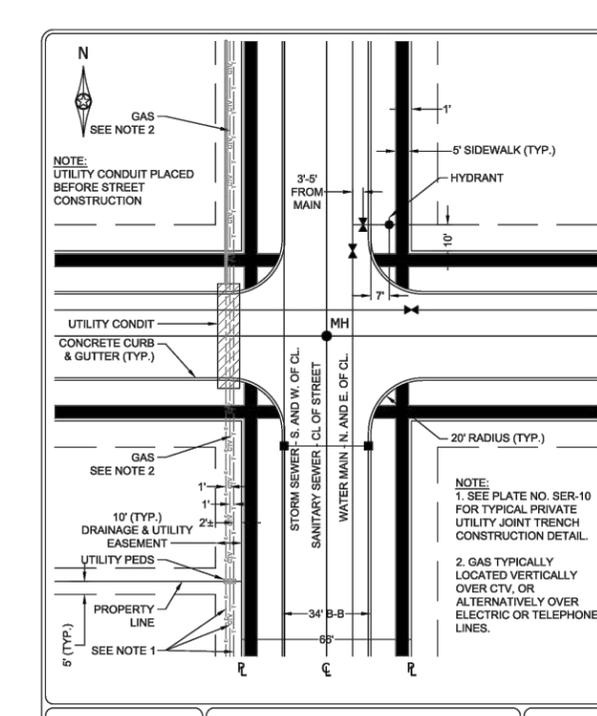
PLATE NO.
ERO-9



SLOPE TRACKING

LAST REVISION:
March 2019

PLATE NO.
ERO-11



TYPICAL UTILITY LOCATIONS

LAST REVISION:
March 2019

PLATE NO.
SER-8

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NOTES:
 1. ALL NEW AND EXISTING WATER AND SEWER SERVICE LOCATIONS SHALL BE MARKED IN CURB AS SHOWN. STAMPING OF SERVICE LOCATIONS SHALL BE CONSIDERED INCIDENTAL TO THE PRICE OF THE CURB.
 2. WS AND S'S NOT PLACED BY SPECIFIED STAMP WILL NOT BE ACCEPTED AND THAT SECTION OF CURB MUST BE REMOVED AND REPLACED.

STAMP "S" IN FACE OF CURB OVER SEWER SERVICE LINE
 STAMP "W" IN FACE OF CURB OVER WATER SERVICE LINE

TYPE "D" CURB
 MOUNTABLE CURB

STAMP CROSS SECTION

"S" STAMP DETAIL
 "W" STAMP DETAIL

CITY OF HUDSON
 SANITARY SEWER & WATER SERVICE LOCATION STAMP IN CURB
 LAST REVISION: March 2019
 PLATE NO. SER-10

FACE OF CURB
 6" FACE OF CURB
 18" FACE OF CURB
 2" R
 1/2" /FT BATTER CURB FACE
 3/4" R
 1/4" /FT. SLOPE
 6" FACE OF CURB
 24" FACE OF CURB
 2" R
 1/2" /FT BATTER CURB FACE
 3/4" R
 1/4" /FT. SLOPE
 6" FACE OF CURB

KNIFING AREA
 TOOL EDGE

TYPE D24 CONCRETE CURB AND GUTTER
 TYPE D30 CONCRETE CURB AND GUTTER

NOTES:
 1. ALL EXPANSION AND CONSTRUCTION JOINTS SHALL BE TOOLED ALONG ENTIRE TOP AND FACE OF CURB AND GUTTER AND KNIFED THROUGH THE ENTIRE DEPTH.

CITY OF HUDSON
 CURB AND GUTTER
 LAST REVISION: March 2019
 PLATE NO. STR-1

MEASUREMENT FOR PAYMENT METHOD OF PAYMENT BY SQUARE YARD

PROPERTY LINE OR EXISTING DRIVEWAY
 16' R OR AS DIRECTED BY ENGINEER
 TOOLED JOINT
 TAPER TO SURMOUNTABLE AT END OF EACH RADIUS
 EXPANSION JOINT
 POUR CURB INTEGRAL WITH CONCRETE SLAB

SECTION A-A
 VARIES 12" 12"

CONCRETE TO BE 7" THICK (MINIMUM) 5' OF AGGREGATE BASE, GRADATION 2 (SEE SPECIFICATIONS)
 CONCRETE CURB AND GUTTER
 3" / FOOT
 7" CONCRETE PAVEMENT
 6" DENSE GRADED BASE
 3-#4 REBAR

SECTION B-B THRU CONCRETE APRON

CITY OF HUDSON
 COMMERCIAL DRIVEWAY CONCRETE APRON WITH CURB
 LAST REVISION: March 2019
 PLATE NO. STR-5

CATCHBASIN FRAME & COVER
 EXPANSION JOINT
 10' MIN. TRANSITION
 3' - 0"
 10' MIN. TRANSITION
 10' MIN. TRANSITION
 EXPANSION JOINT

NOTES:
 CATCHBASIN TO BE DEPRESSED 1" BELOW DESIGN GUTTER LINE GRADE
 4" MAXIMUM CURB INLET OPENING

ISOMETRIC
 NO SCALE

D30 CONC. CURB & GUTTER (TAPER IN)

SECTION A-A
 NO SCALE

DESIGN GUTTER LINE GRADE
 1"
 10' MIN. TRANSITION
 10' MIN. TRANSITION
 EXPANSION JOINT
 EXPANSION JOINT
 FRAME & CASTING
 2 - #4 REBARS EACH WAY

CITY OF HUDSON
 D30 CURB & GUTTER CONSTRUCTION AT CATCH BASIN
 LAST REVISION: March 2019
 PLATE NO. STR-9

NEENAH R-3067-VB CATCH BASIN FRAME AND GRATE AT LOW POINTS. R-3067-V CATCH BASIN FRAME AND GRATE AT ALL OTHER LOCATIONS. SHALL BE FURNISHED WITH CURB INLET BOX AND 3" DIA. FRONT FACE AND 4" MAXIMUM OPENING.

HIGH DENSITY POLYETHYLENE (HDPE) ADJUSTMENT RINGS.

CATCH BASIN STRUCTURE WITH TOP SLAB OR 2' X 3' BOX.

WOVEN FILTER FABRIC

SANITARY SEWER NEENAH R-1642 "SELF SEALING" MANHOLE FRAME AND TYPE "B" PLATEN LID WITH 2 CONCEALED PICK HOLES.

STORM SEWER NEENAH R-1642 MANHOLE FRAME, WITH OPEN HOLE (PLATEN STYLE).

HIGH DENSITY POLYETHYLENE (HDPE) ADJUSTMENT RINGS.

SANITARY SEWER EXTERNAL CHIMNEY SEAL FROM ADAPTOR INC. OR APPROVED EQUAL (USED ON OFF STREET APPLICATIONS ONLY)

MANHOLE STRUCTURE WITH TOP SLAB OR CONE SECTION.

CITY OF HUDSON
 CATCH BASIN & MANHOLE ADJUSTMENT (HIGH DENSITY POLYETHYLENE RINGS)
 LAST REVISION: March 2019
 PLATE NO. STR-16

2" MIN.
 LESS THAN 2"
 LESS THAN 2"
 3" MIN.
 SAW CUT LIMITS
 GATE VALVE
 MANHOLE
 SAW CUT LIMITS
 REMOVE AND REPLACE PAVEMENT
 EDGE OF GUTTER
 BACK OF CURB

NOTE:
 1. SAW CUT FULL DEPTH THROUGH ASPHALT AND CONCRETE PAVEMENT SQUARE (DIAMOND SHAPED RELATIVE TO THE ROADWAY) A MINIMUM OF 4' FROM CENTER OF MANHOLES AND A MINIMUM OF 3' FROM CENTER OF GATE VALVES.
 2. THE REMOVAL DIMENSIONS SHALL MINIMALLY ALLOW FOR VIBRATORY PLATE COMPACTION TO OPERATE PROPERLY.
 3. ADJUST ALL SIDES OF STRUCTURES 1/2" LOWER THAN ADJACENT FINAL GRADE, MATCHING STREET GRADES AND CROSS-SLOPES.
 4. UTILIZE 1/2" THICK PICKS ON GATE VALVES AND 1/2" THICK CIRCULATOR PLATES ON MANHOLES FOR ALL PAVING OF STREETS, DRIVEWAYS, PATHS AND PARKING AREAS.
 5. CLEAN ALL LIDS OF ALL GRAVEL, ASPHALT OR CONCRETE DURING PAVING OPERATIONS WHILE ASPHALT IS HOT AND/OR CONCRETE IS PLASTIC.
 6. ANY SAW CUT CLOSER THAN 2' TO THE EDGE OF THE GUTTER SHALL BE EXTENDED TO THE EDGE OF THE GUTTER AND THAT ADDITIONAL PAVEMENT REMOVED AND REPLACED, AS DIRECTED BY THE CITY.

CITY OF HUDSON
 STRUCTURE ADJUSTMENT (ASPHALT OR CONCRETE)
 LAST REVISION: March 2019
 PLATE NO. STR-17

18"
 123 D. ANDREWS
 10" CLEAR ZONE
 41" - 45"
 MIN. 18"

URBAN STREET

6" - 8"
 123 D. ANDREWS
 10" CLEAR ZONE
 41" - 45"
 MIN. 18"

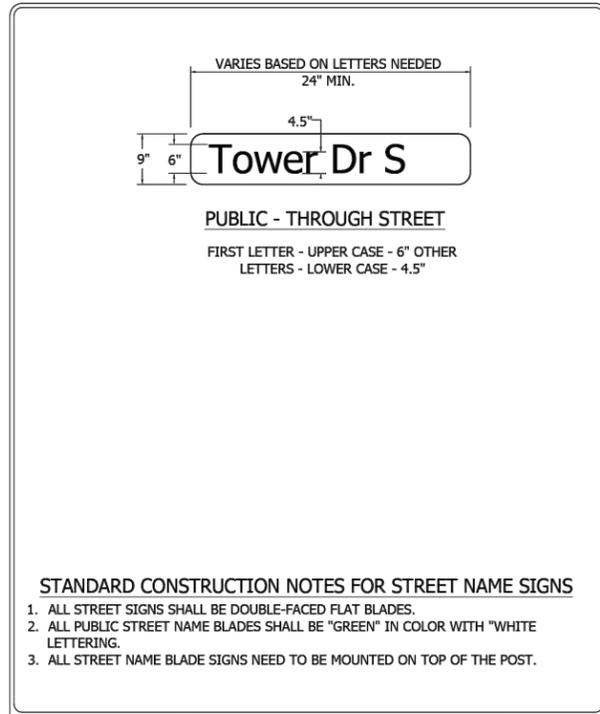
RURAL STREET

EDGE OF PAVEMENT

NOTES:
 DIMENSIONS AS PER U.S. POSTAL SERVICE
 ADDRESS MUST BE ON SIDE OF BOX FROM WHICH CARRIER APPROACHES IN LETTERS ABOUT ONE INCH HIGH (OR ON FRONT WHERE BOXES ARE GROUPED).

CITY OF HUDSON
 MAILBOX INSTALLATION
 LAST REVISION: March 2019
 PLATE NO. STR-27

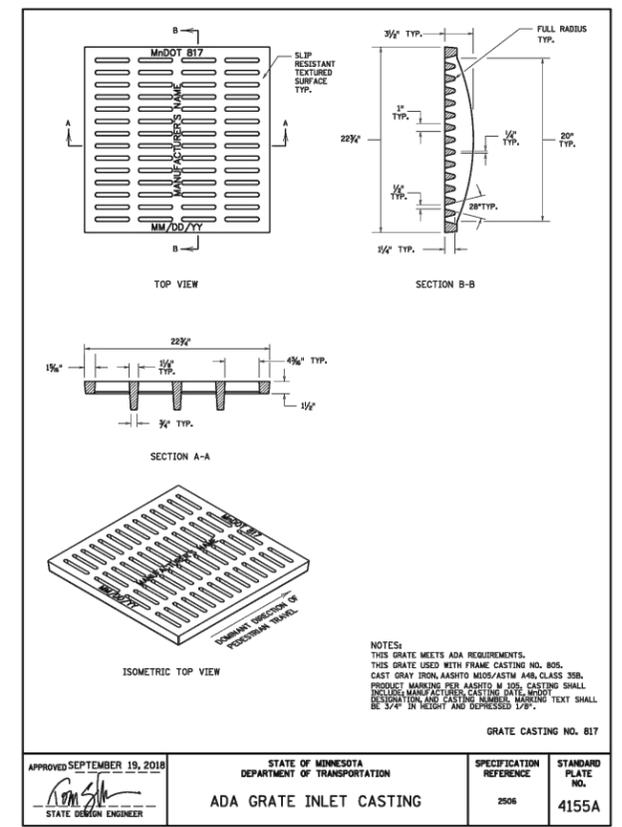
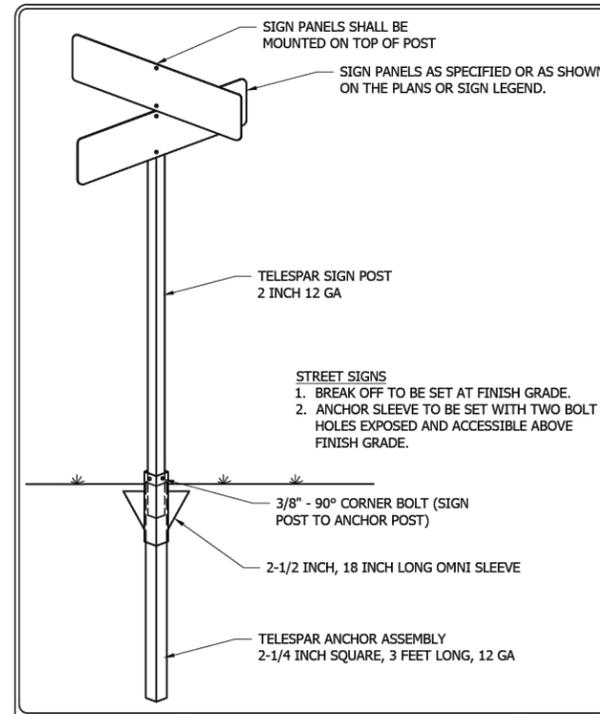
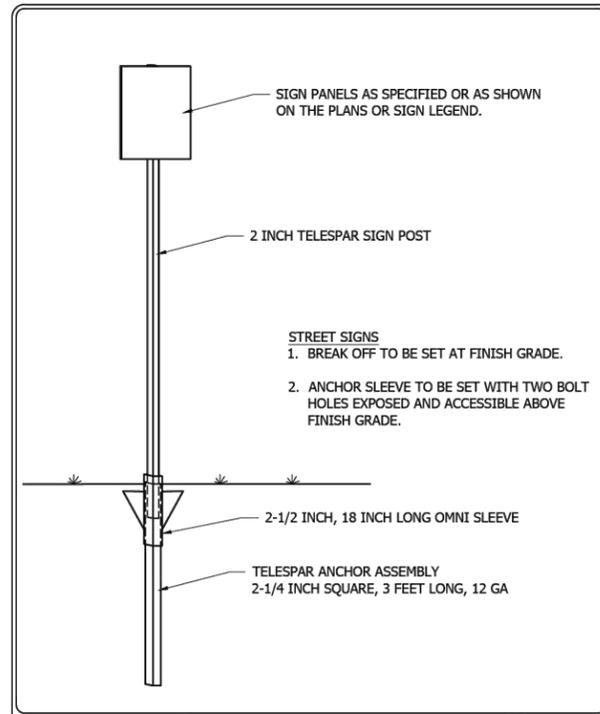
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STANDARD CONSTRUCTION NOTES FOR STREET NAME SIGNS

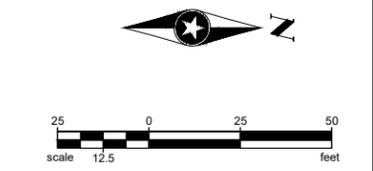
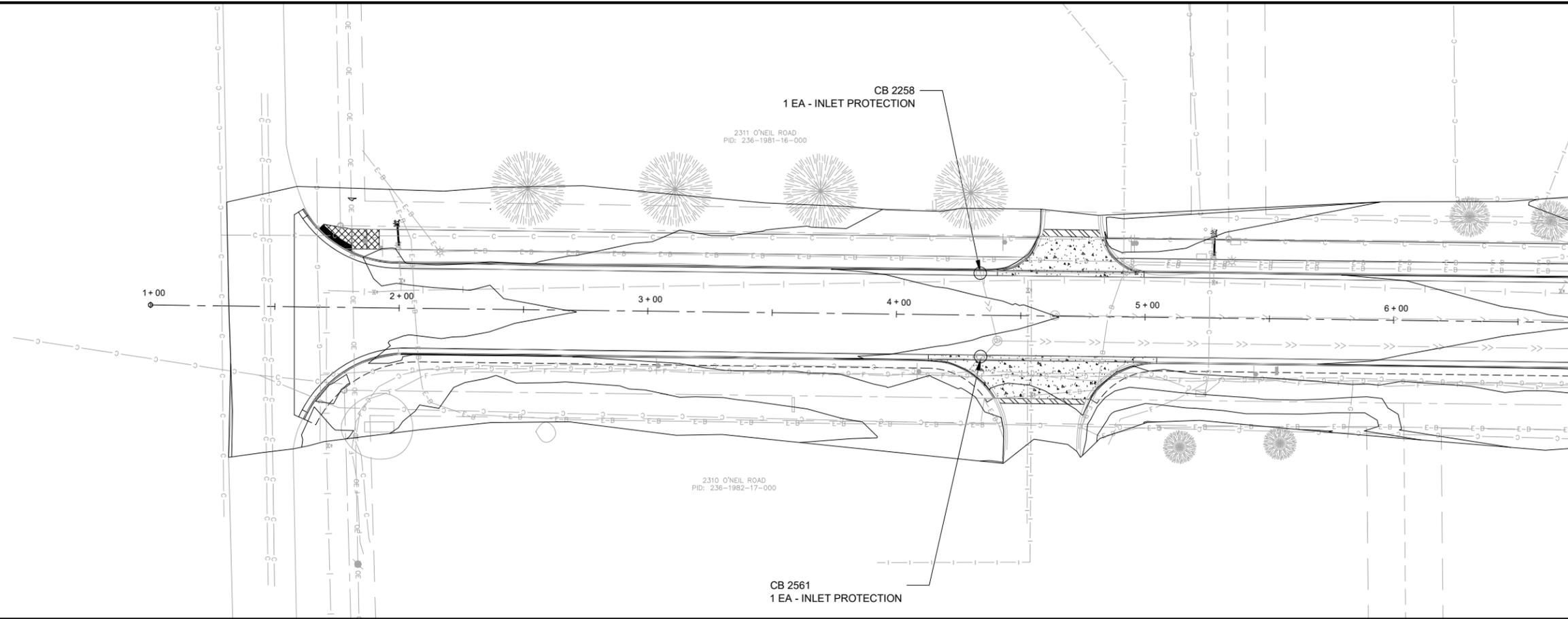
1. ALL STREET SIGNS SHALL BE DOUBLE-FACED FLAT BLADES.
2. ALL PUBLIC STREET NAME BLADES SHALL BE "GREEN" IN COLOR WITH "WHITE" LETTERING.
3. ALL STREET NAME BLADE SIGNS NEED TO BE MOUNTED ON TOP OF THE POST.

 CITY OF HUDSON	STREET NAME BLADE SIGNS PUBLIC STREETS	LAST REVISION: June 2024 PLATE NO. STR-28-MOD
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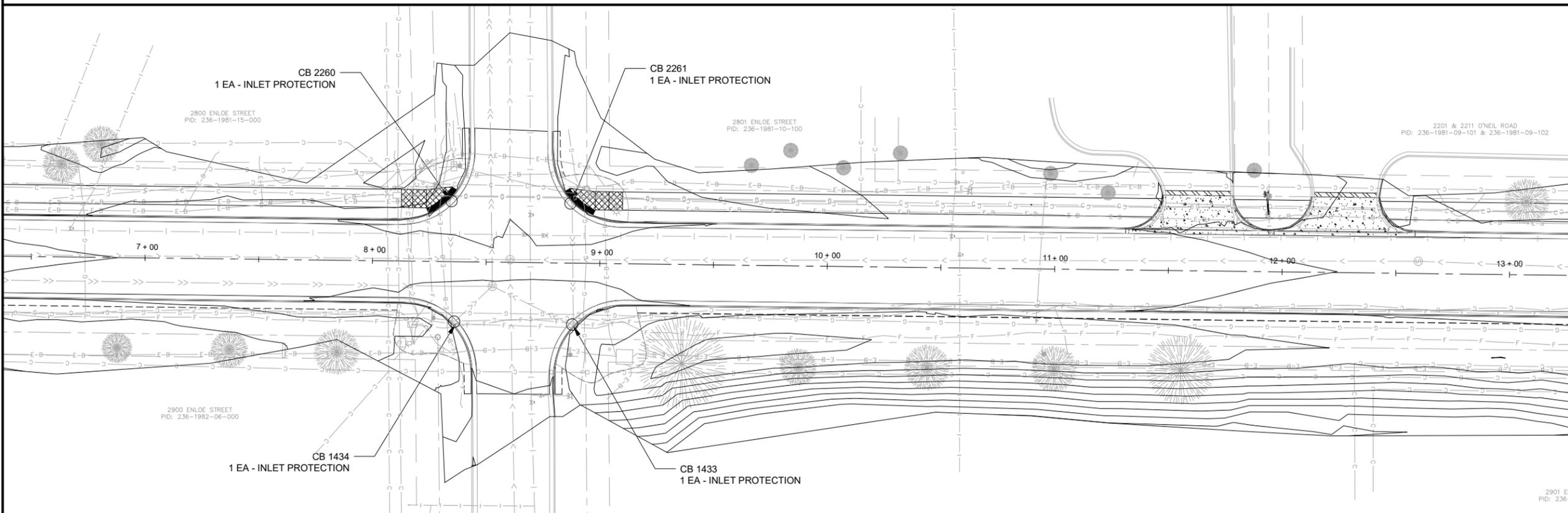


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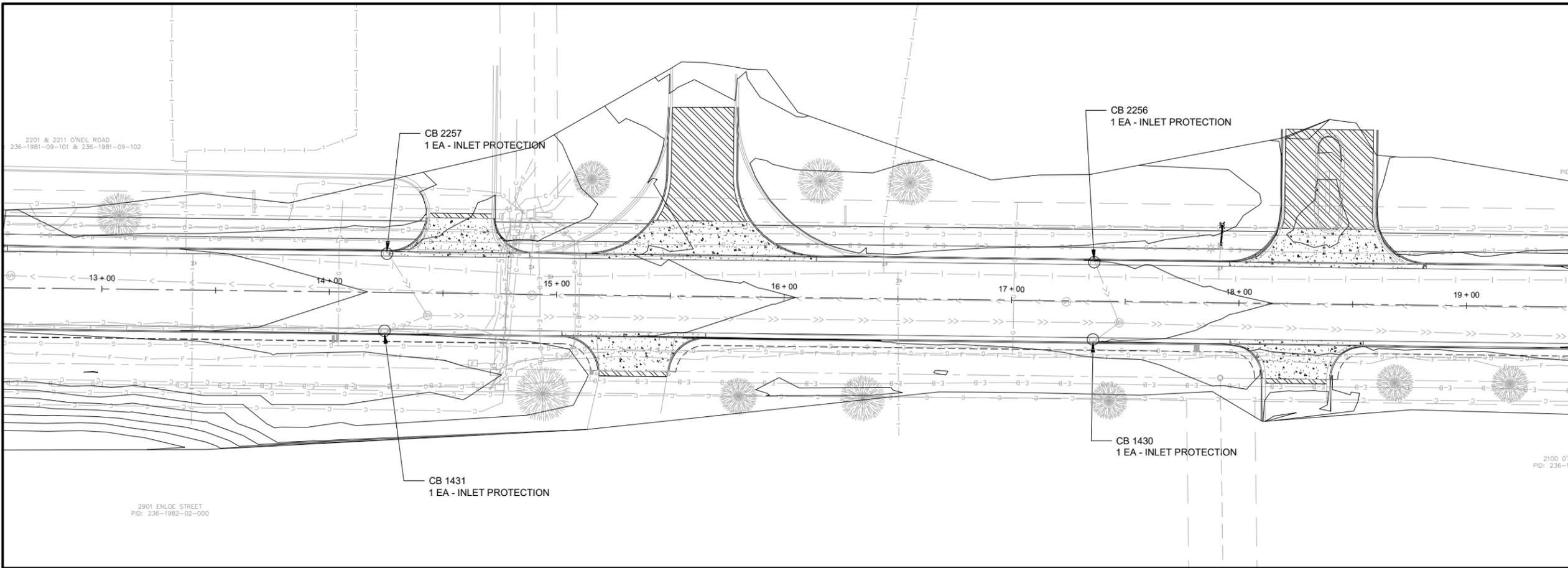


- LEGEND**
- REMOVE ASPHALT PAVEMENT
 - INLET PROTECTION
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)
 - REMOVE CONCRETE CURB & GUTTER

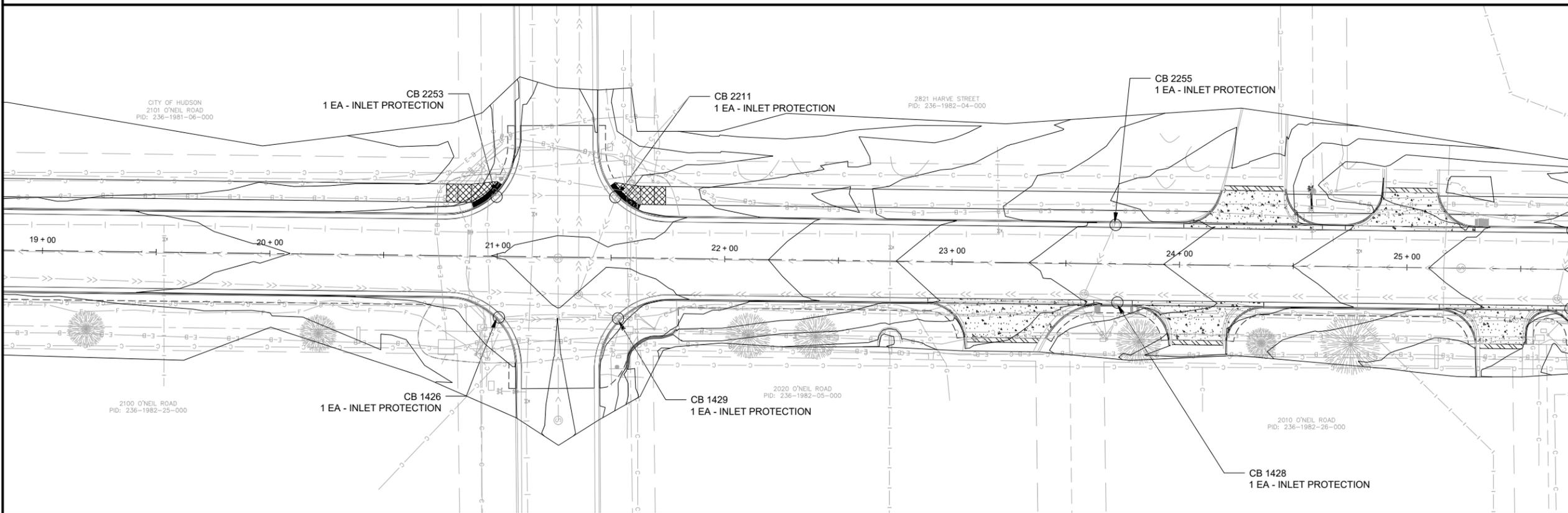


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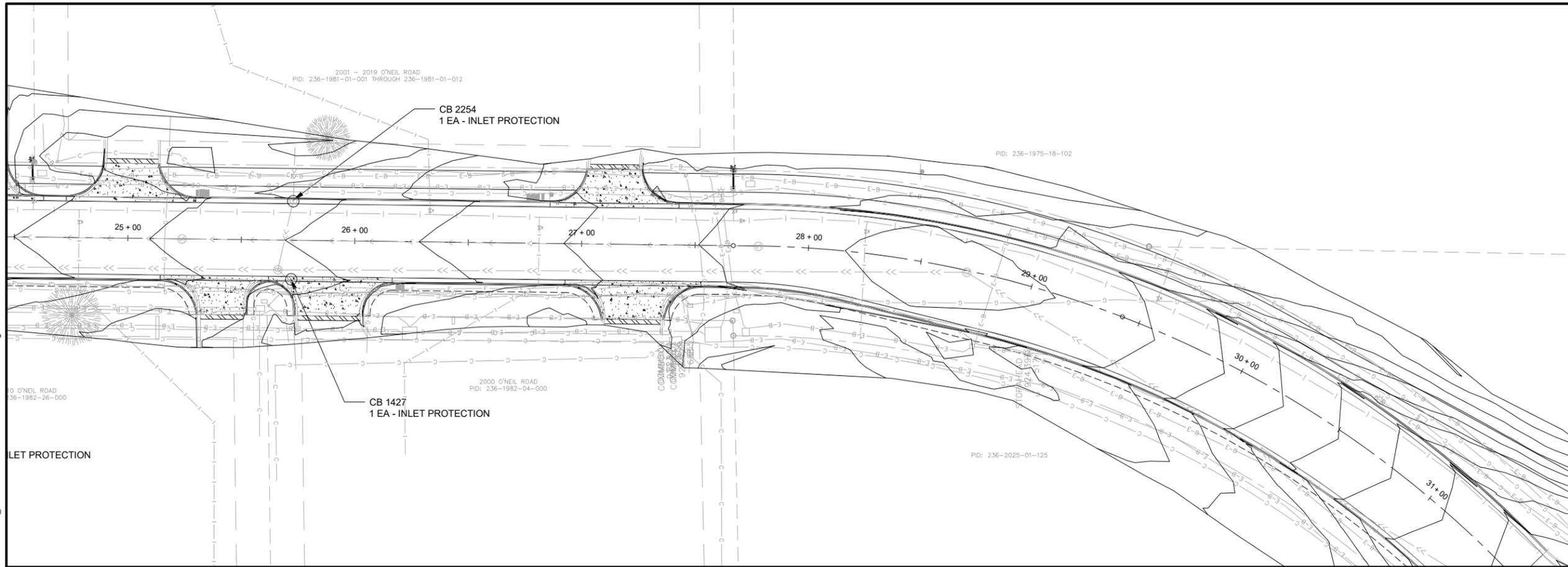
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- REMOVE ASPHALT PAVEMENT
 - INLET PROTECTION
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)
 - REMOVE CONCRETE CURB & GUTTER



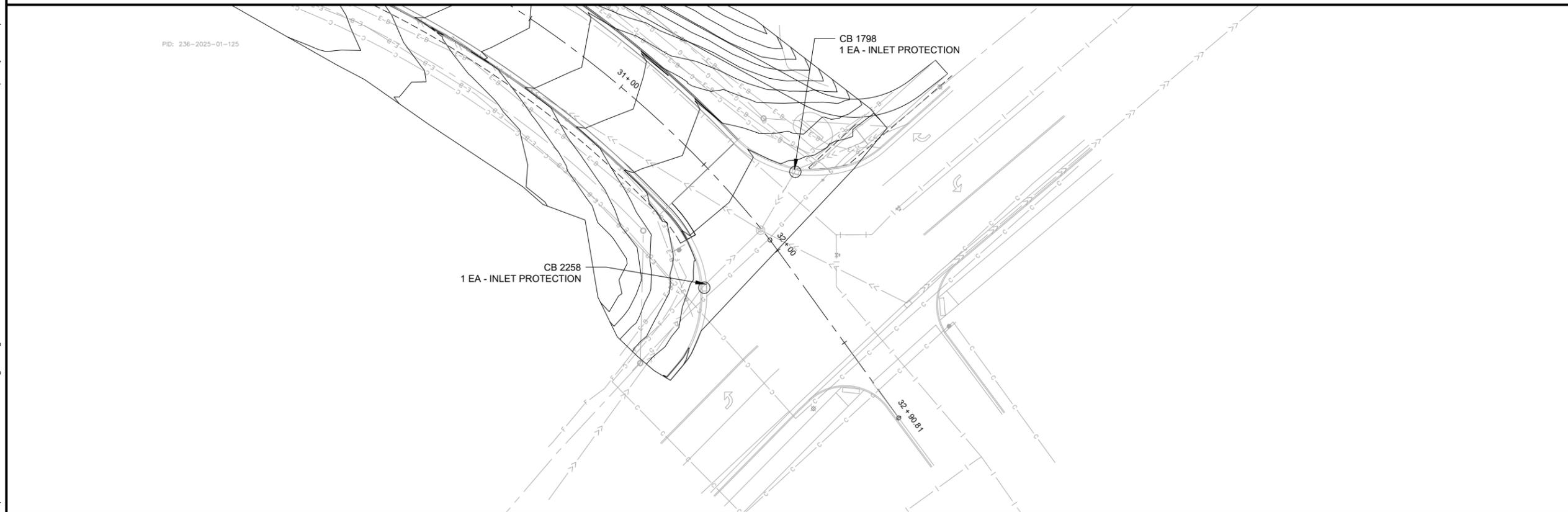
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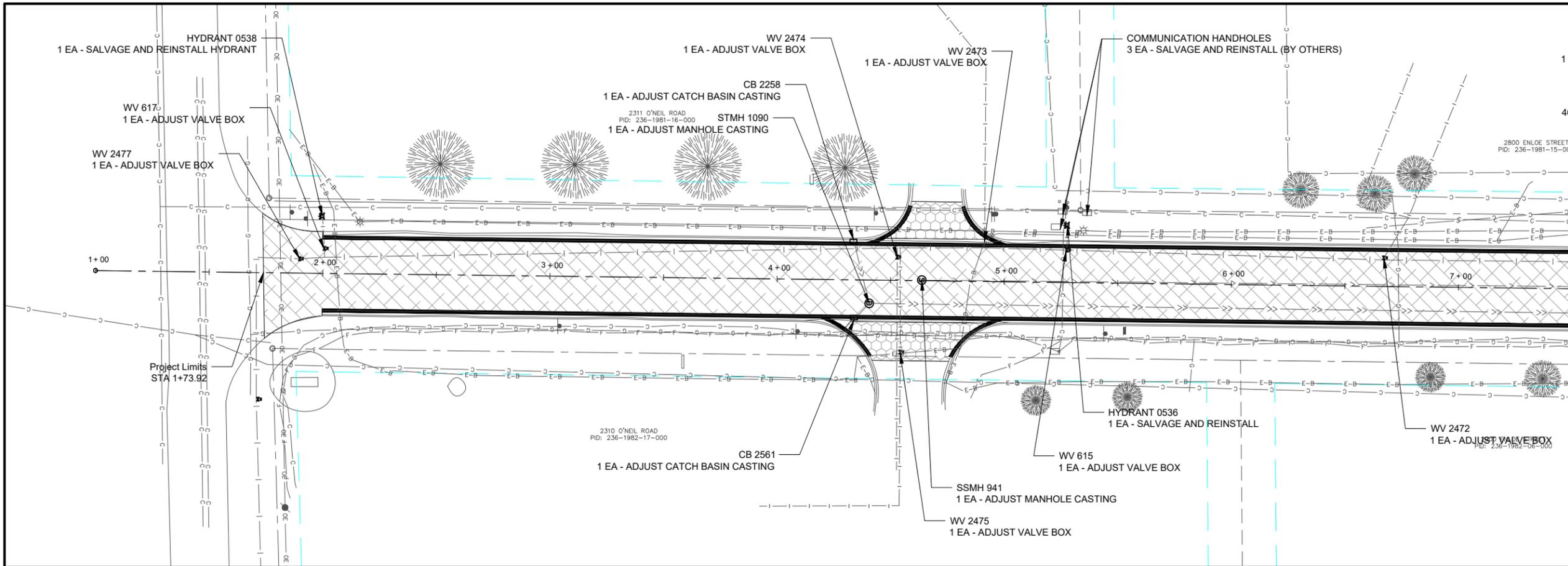


- LEGEND**
- REMOVE ASPHALT PAVEMENT
 - INLET PROTECTION
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)
 - REMOVE CONCRETE CURB & GUTTER



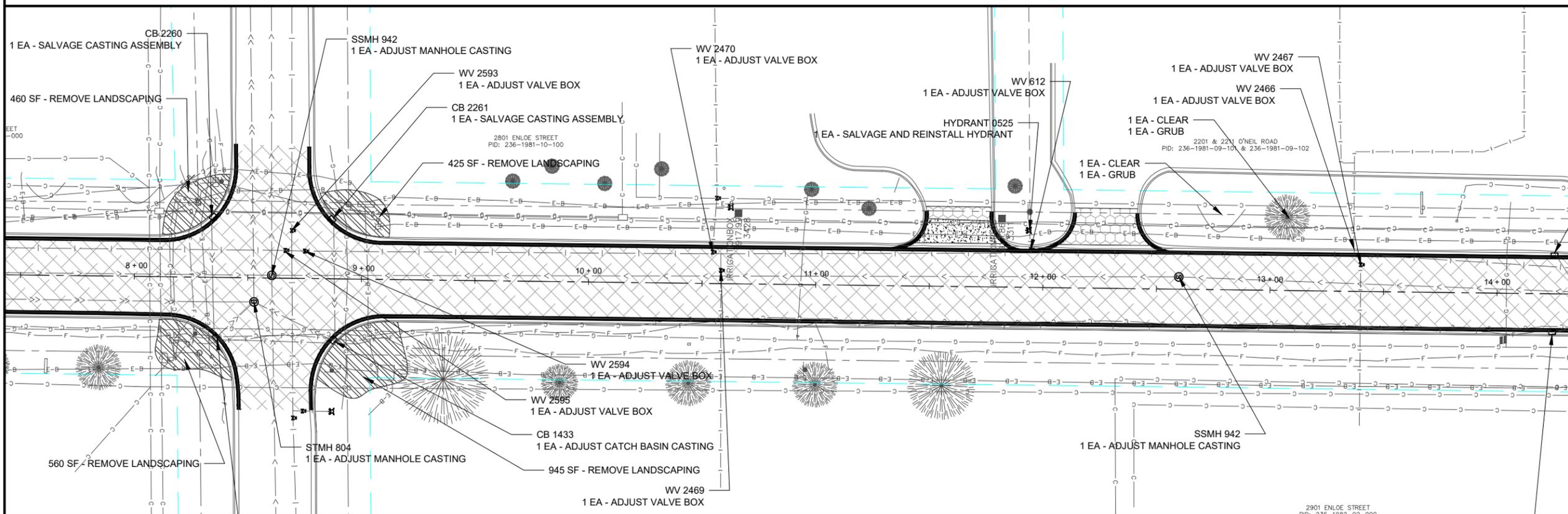
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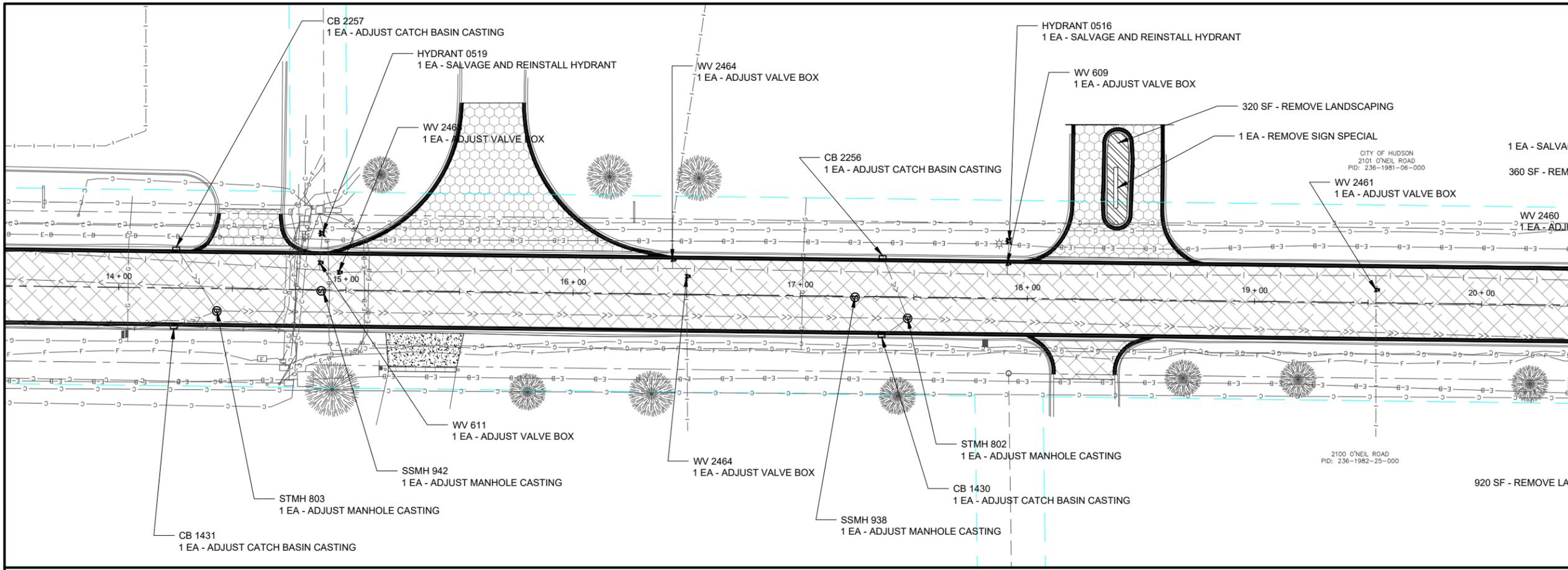
- LEGEND**
- REMOVE ASPHALT PAVEMENT
 - REMOVE CONCRETE SURFACE
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)
 - REMOVE CONCRETE CURB & GUTTER

- NOTES:**
1. THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING REMOVALS AND EXCAVATION.
 2. UTILITIES ENCOUNTERED IN THE PROJECT AREA SHALL BE PROTECTED.
 3. THE AERIAL BACKGROUND IS FROM 2022 AND MAY NOT REPRESENT CURRENT CONDITIONS.
 4. PROVIDE FOUR (4) TYPE 3 BARRICADES ON-SITE WITH "ROAD CLOSED" SIGN. ENGINEER TO DIRECT LOCATION IN THE FIELD.



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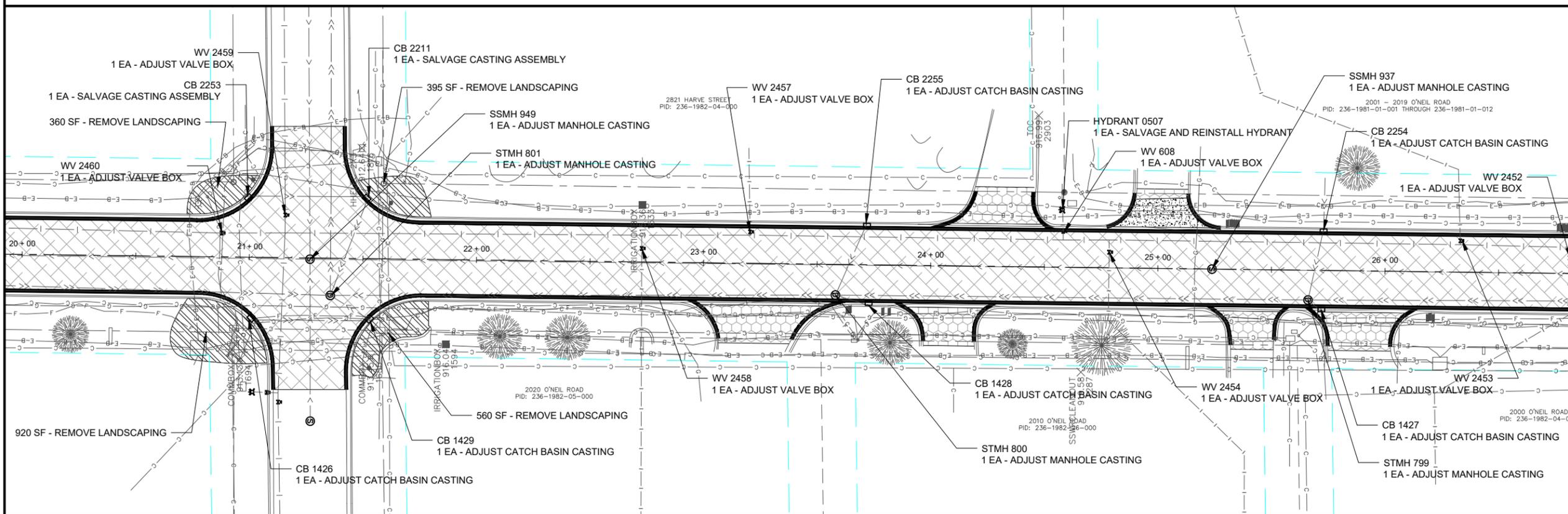


LEGEND

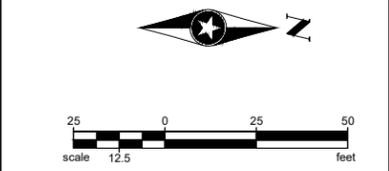
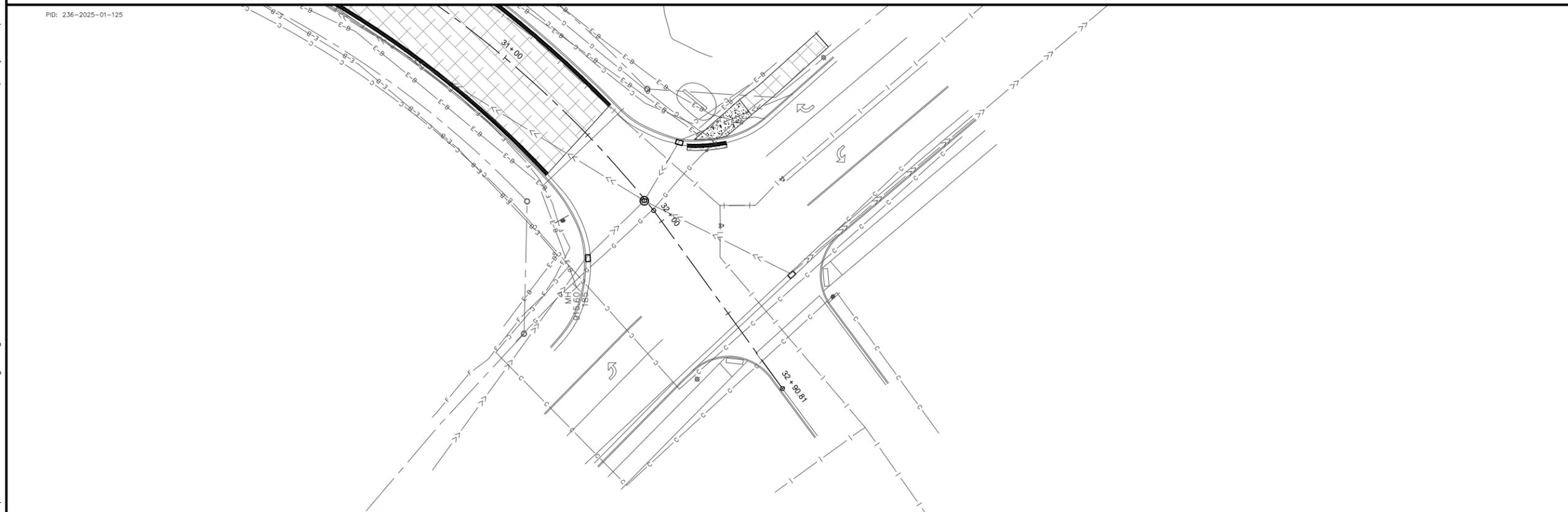
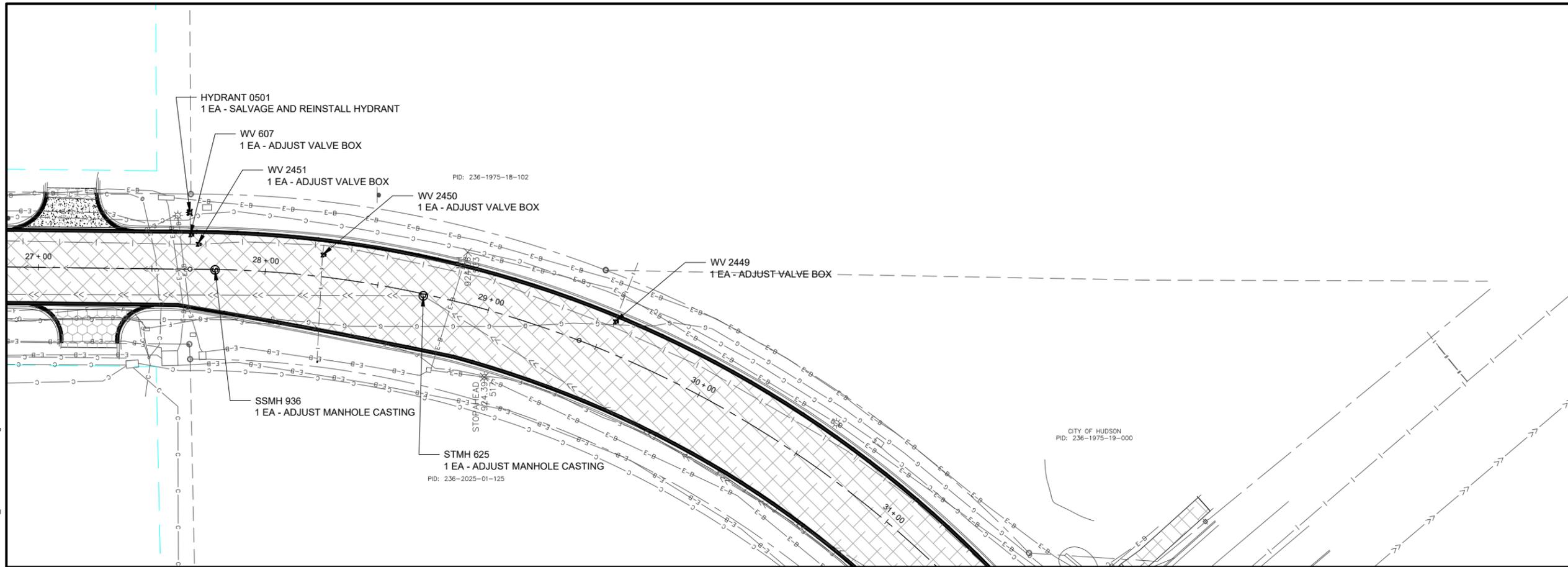
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- REMOVE CONCRETE SURFACE
- SLOPE INTERCEPT
- SAWCUT (INCIDENTAL)
- REMOVE CONCRETE CURB & GUTTER

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4. PROVIDE FOUR (4) TYPE 3 BARRICADES ON-SITE WITH "ROAD CLOSED" SIGN. ENGINEER TO DIRECT LOCATION IN THE FIELD.



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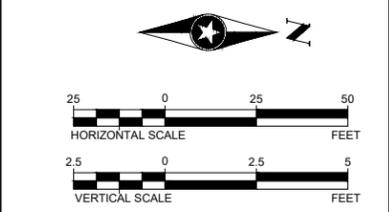
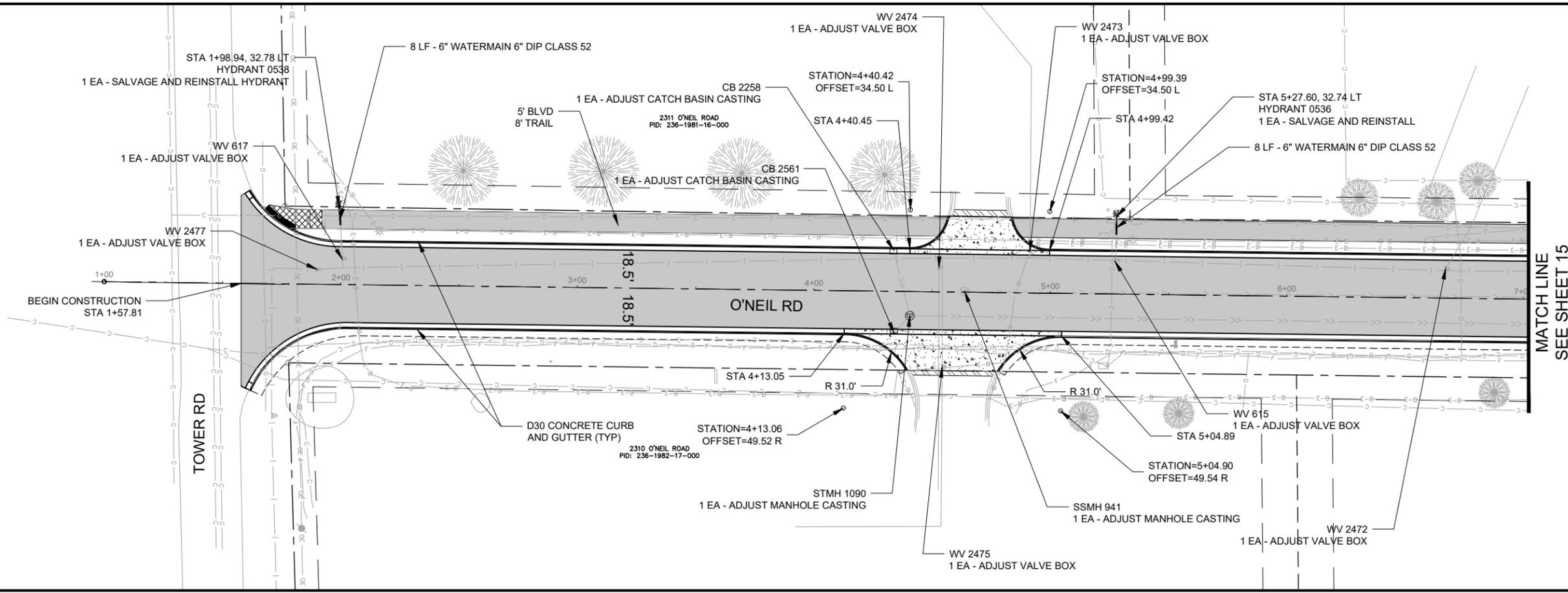


- LEGEND**
- REMOVE ASPHALT PAVEMENT
 - REMOVE CONCRETE SURFACE
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)
 - REMOVE CONCRETE CURB & GUTTER

- NOTES:**
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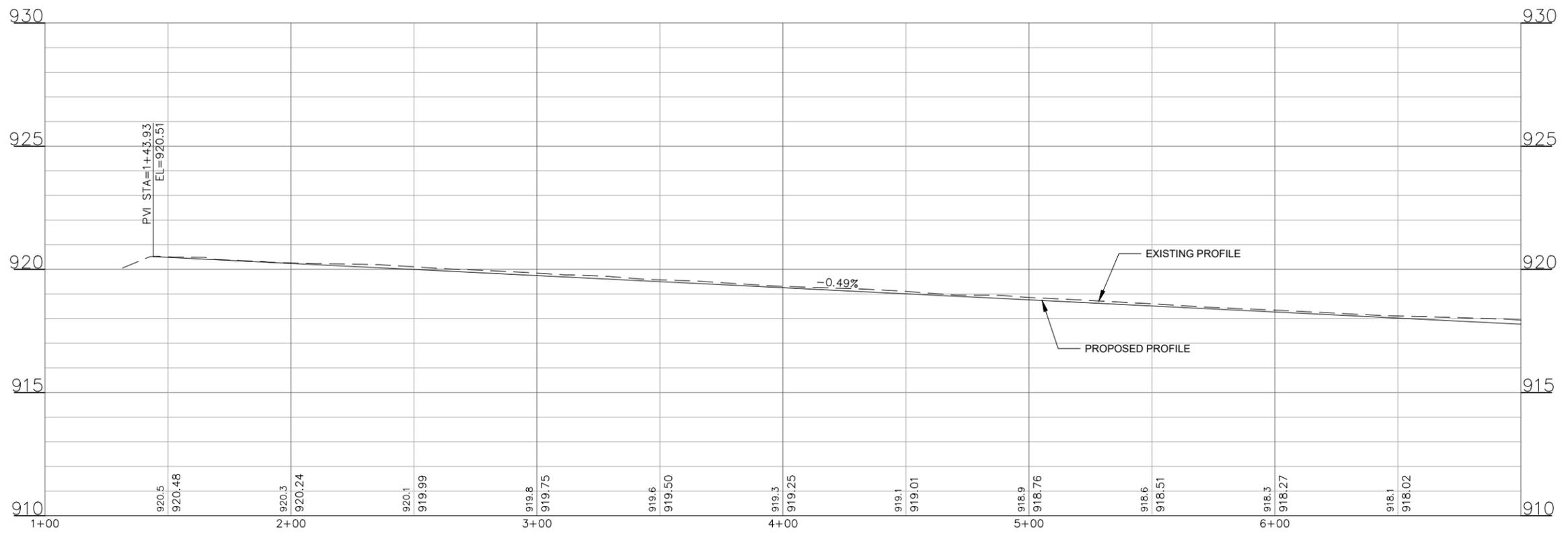
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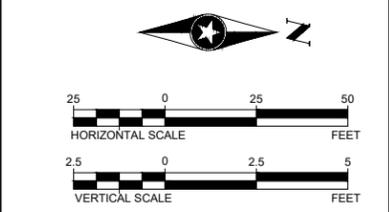
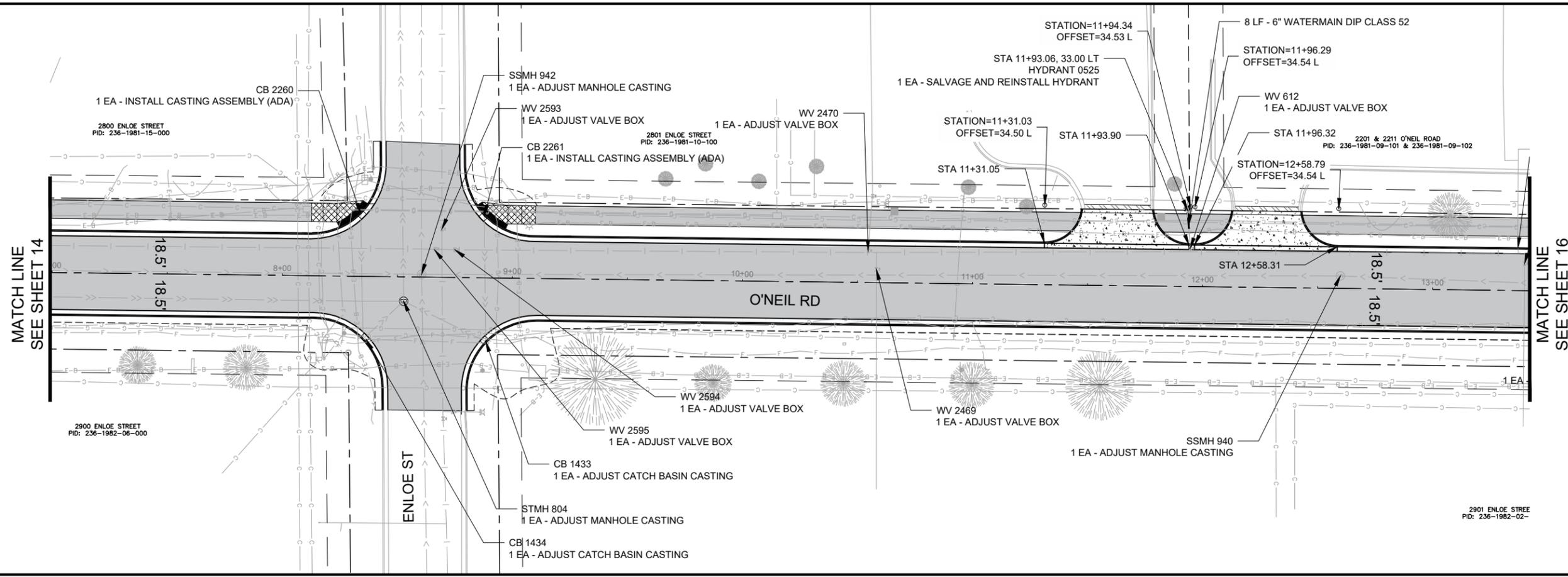
- LEGEND**
- PATCH ASPHALT DRIVEWAY
 - CONCRETE DRIVEWAY APRON - 7"
 - CONC. PEDESTRIAN CURB RAMP - 6"
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)

- NOTES:**
1. THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING REMOVALS AND EXCAVATION.
 2. UTILITIES ENCOUNTERED IN THE PROJECT AREA SHALL BE PROTECTED.
 3. PAYMENT FOR CURB AND GUTTER WILL BEGIN AND END AT THE DRIVEWAY LIMITS AS SHOWN IN THE PLANS.
 4. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS SHOWN OTHERWISE.
 5. CONTRACTOR SHALL COORDINATE DRIVEWAY CLOSURES WITH PROPERTY OWNERS.

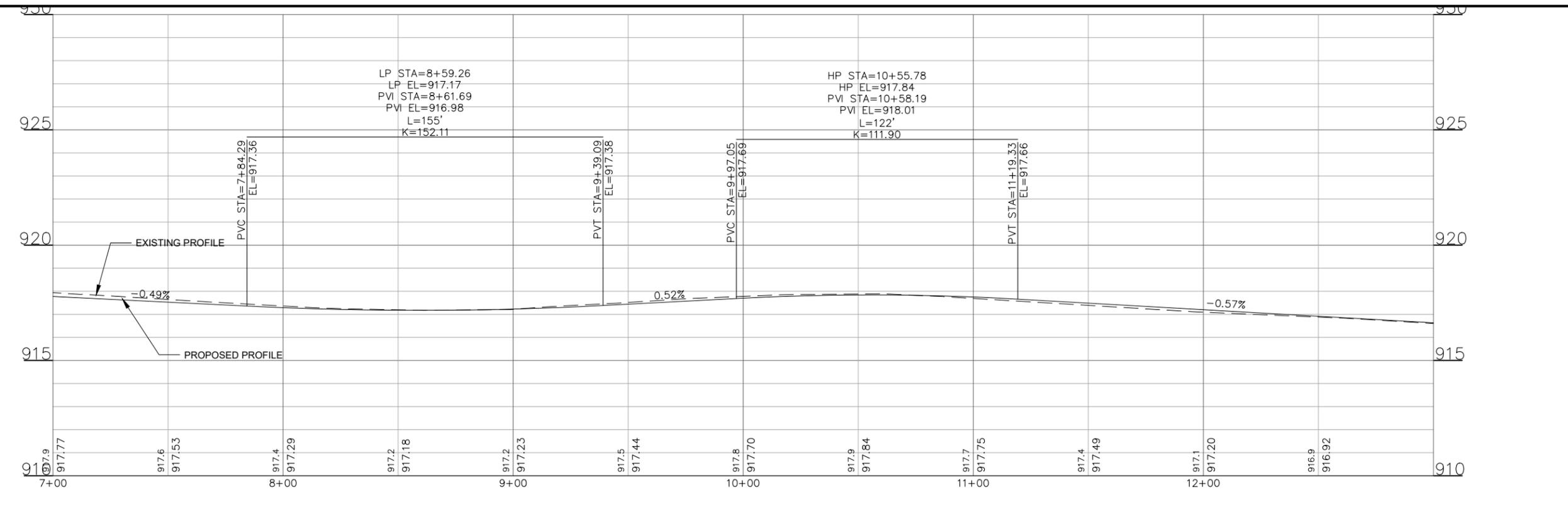


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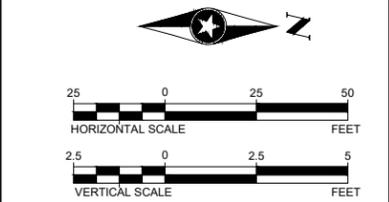
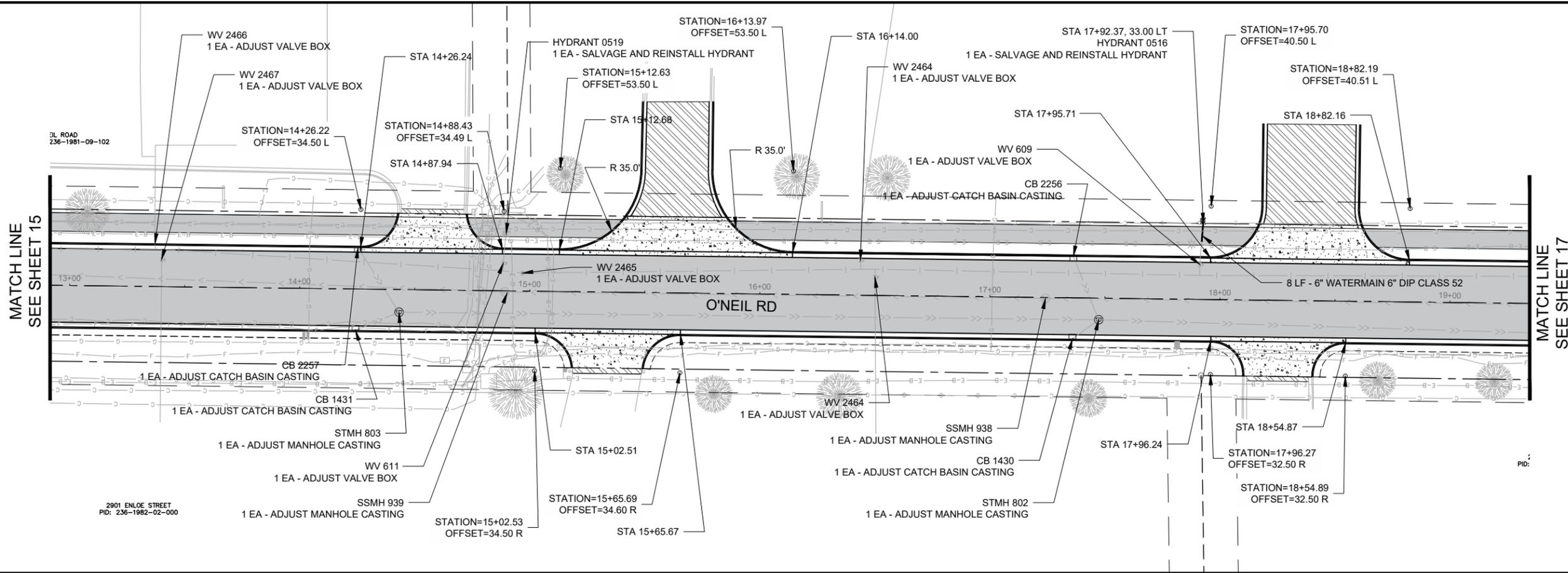


- NOTES:**
1. THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING REMOVALS AND EXCAVATION.
 2. UTILITIES ENCOUNTERED IN THE PROJECT AREA SHALL BE PROTECTED.
 3. PAYMENT FOR CURB AND GUTTER WILL BEGIN AND END AT THE DRIVEWAY LIMITS AS SHOWN IN THE PLANS.
 4. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS SHOWN OTHERWISE.
 5. CONTRACTOR SHALL COORDINATE DRIVEWAY CLOSURES WITH PROPERTY OWNERS.



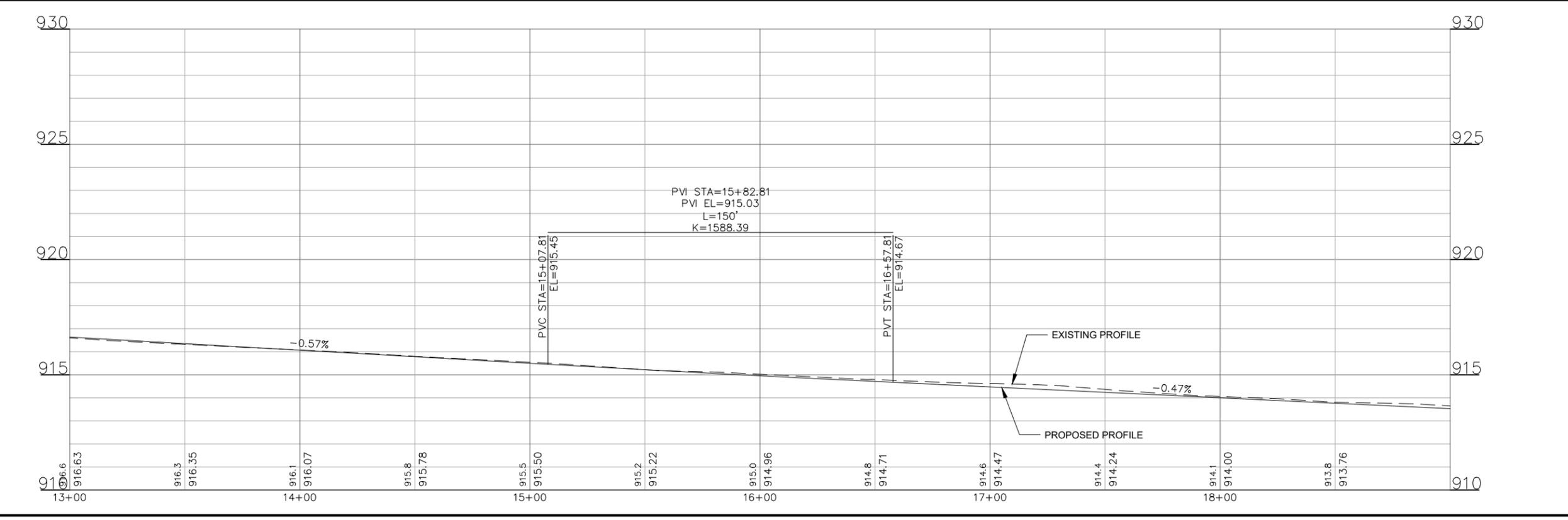
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Checked By: EMA						

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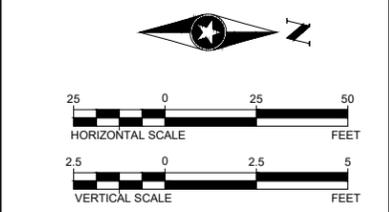
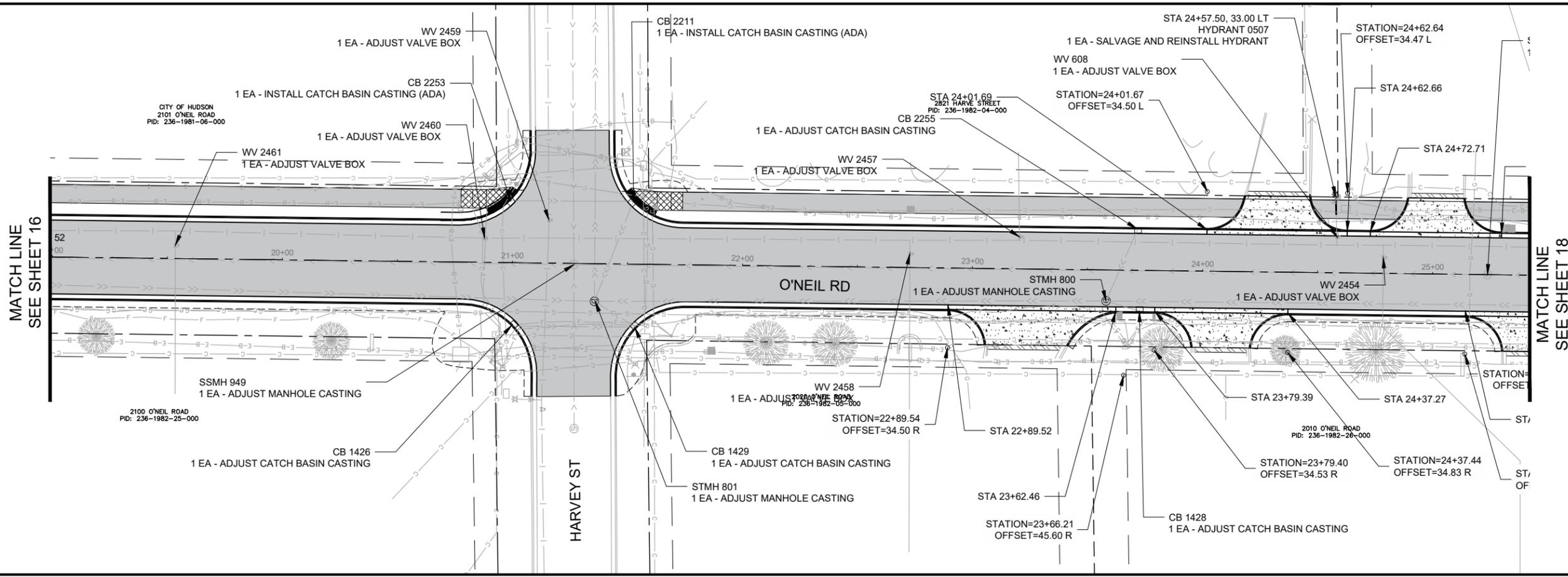
- LEGEND**
- PATCH ASPHALT DRIVEWAY
 - CONCRETE DRIVEWAY APRON - 7"
 - CONC. PEDESTRIAN CURB RAMP - 6"
 - SLOPE INTERCEPT
 - SAWCUT (INCIDENTAL)

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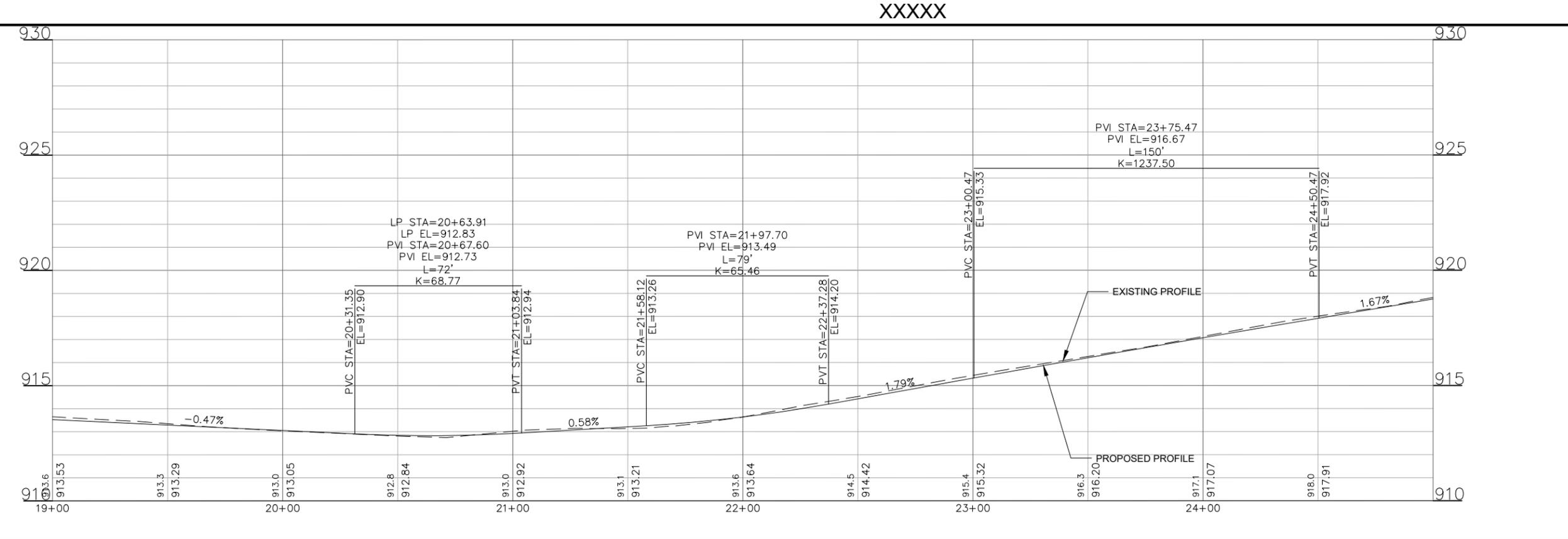
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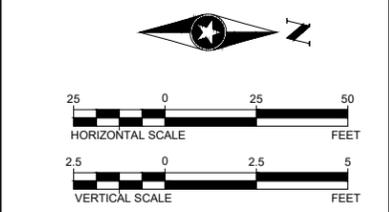
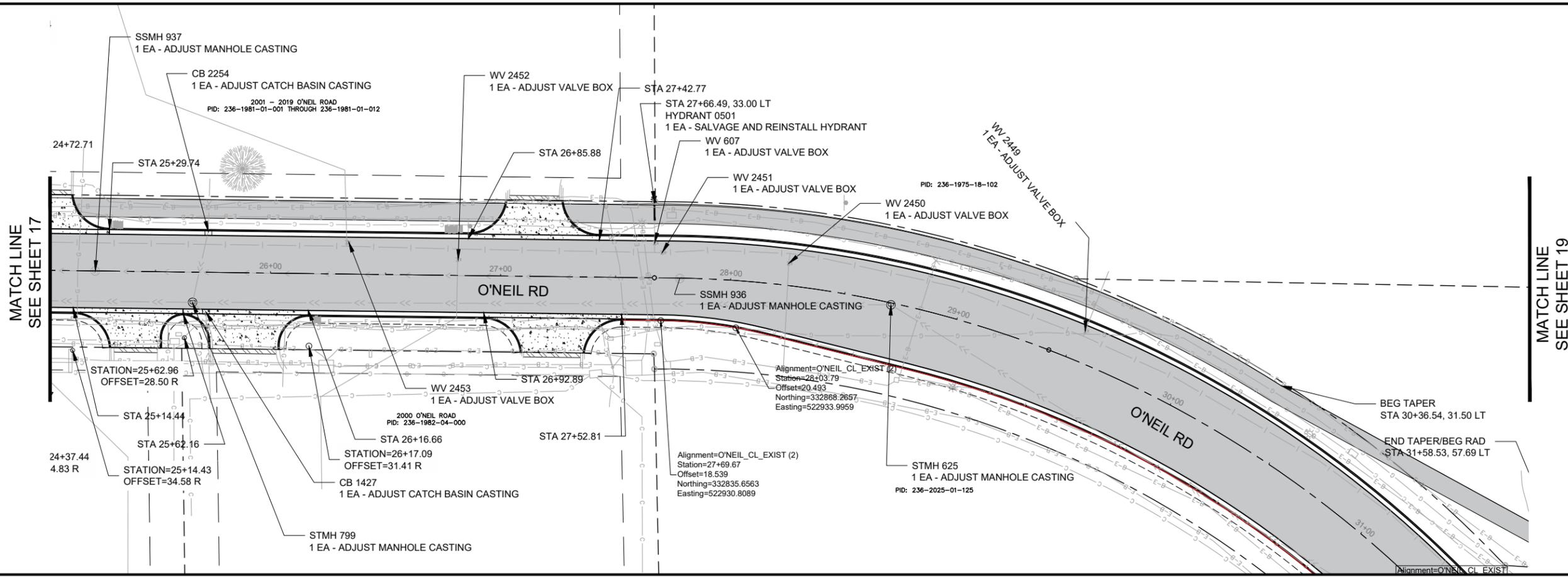
- LEGEND**
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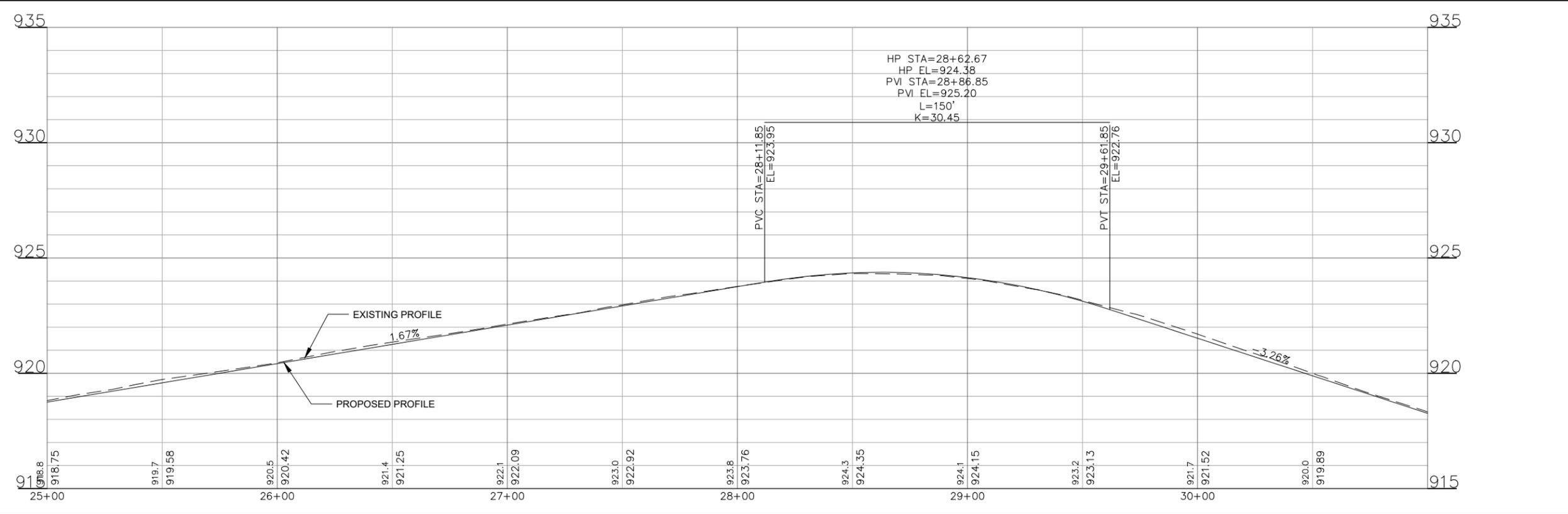
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- LEGEND**
- PATCH ASPHALT DRIVEWAY
 - CONCRETE DRIVEWAY APRON - 7"
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 - SAWCUT (INCIDENTAL)

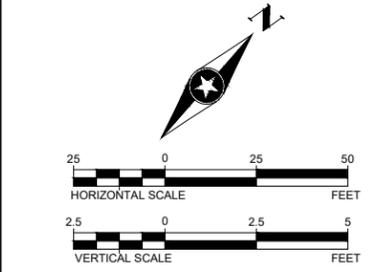
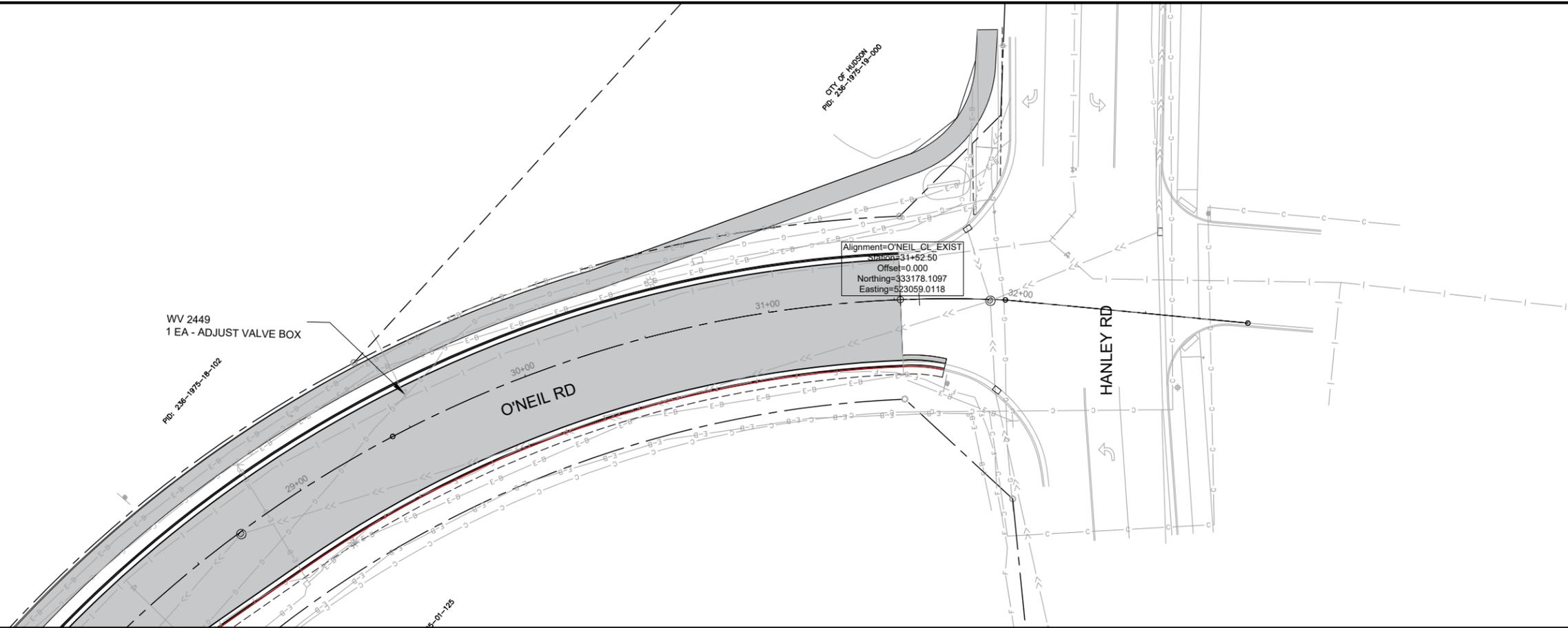
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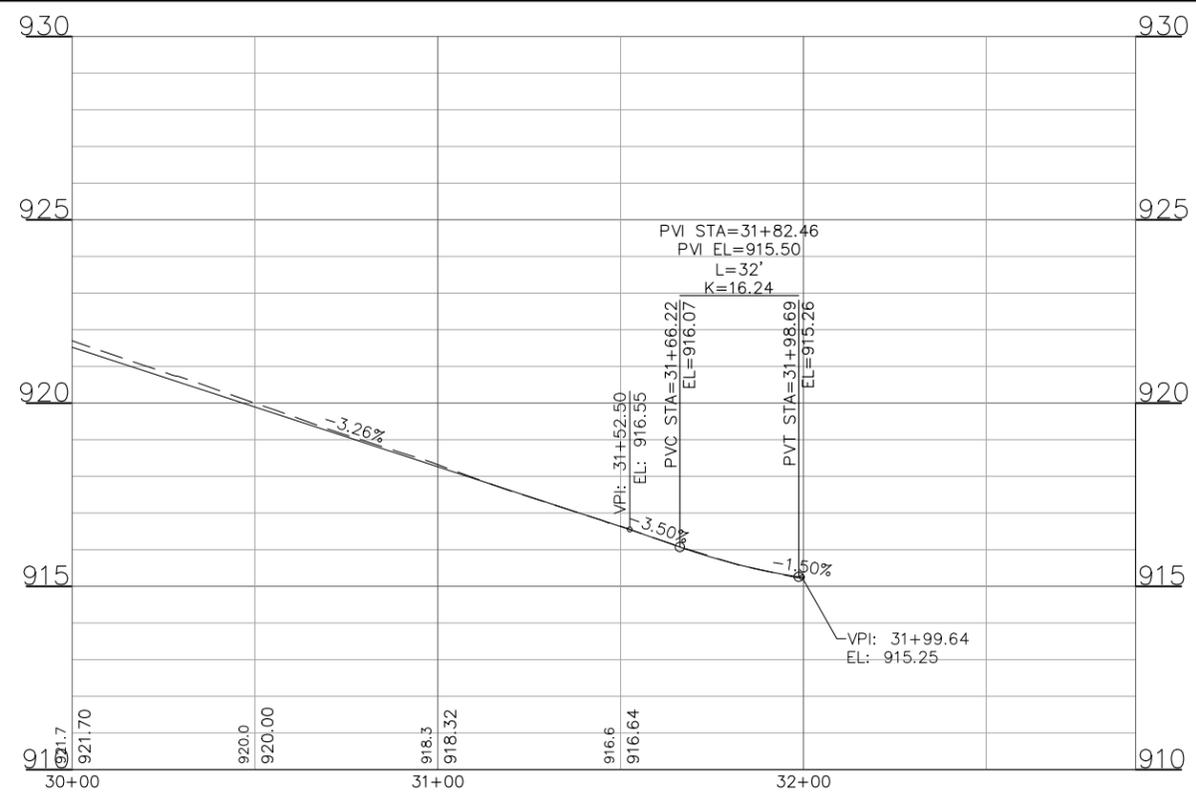
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MATCH LINE
SEE SHEET 18



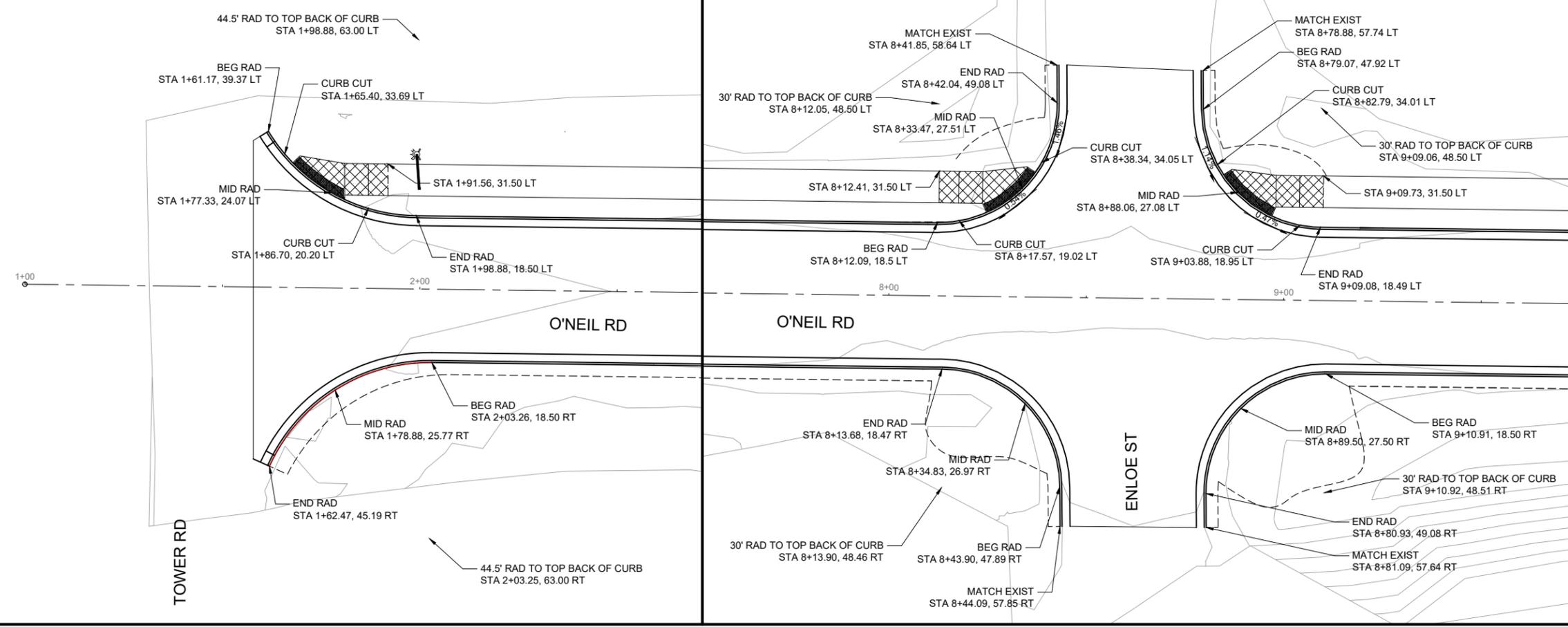
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HORIZONTAL SCALE FEET

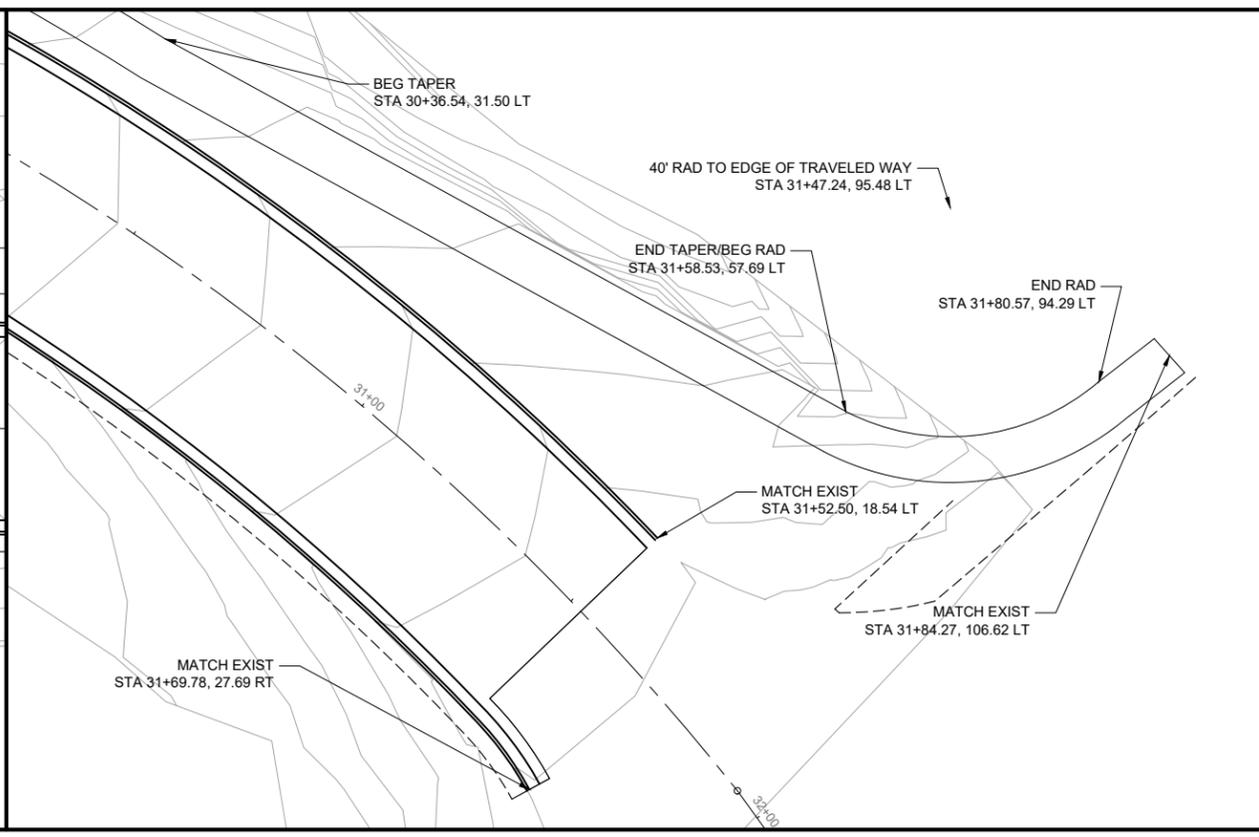
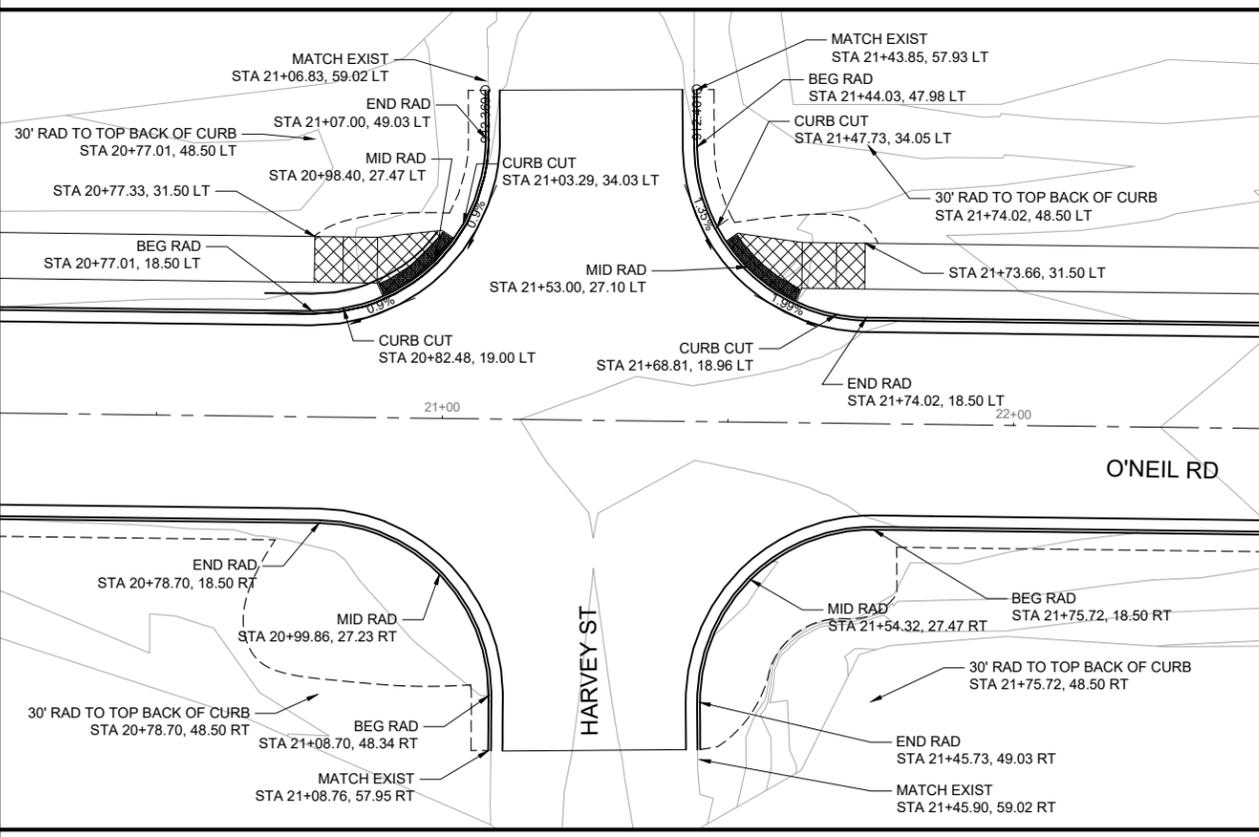
VERTICAL SCALE FEET

LEGEND

- PATCH ASPHALT DRIVEWAY
- 7" CONC. COMMERCIAL DRIVEWAY
- SLOPE INTERCEPT
- SAWCUT (INCIDENTAL)

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2. UTILITIES ENCOUNTERED IN THE PROJECT AREA SHALL BE PROTECTED.
3. THE AERIAL BACKGROUND IS FROM 2022 AND MAY NOT REPRESENT CURRENT CONDITIONS.



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REMOVALS LEGEND

- ① SALVAGE SIGN AND POST
- ② REMOVE WOOD POST

CONSTRUCTION LEGEND

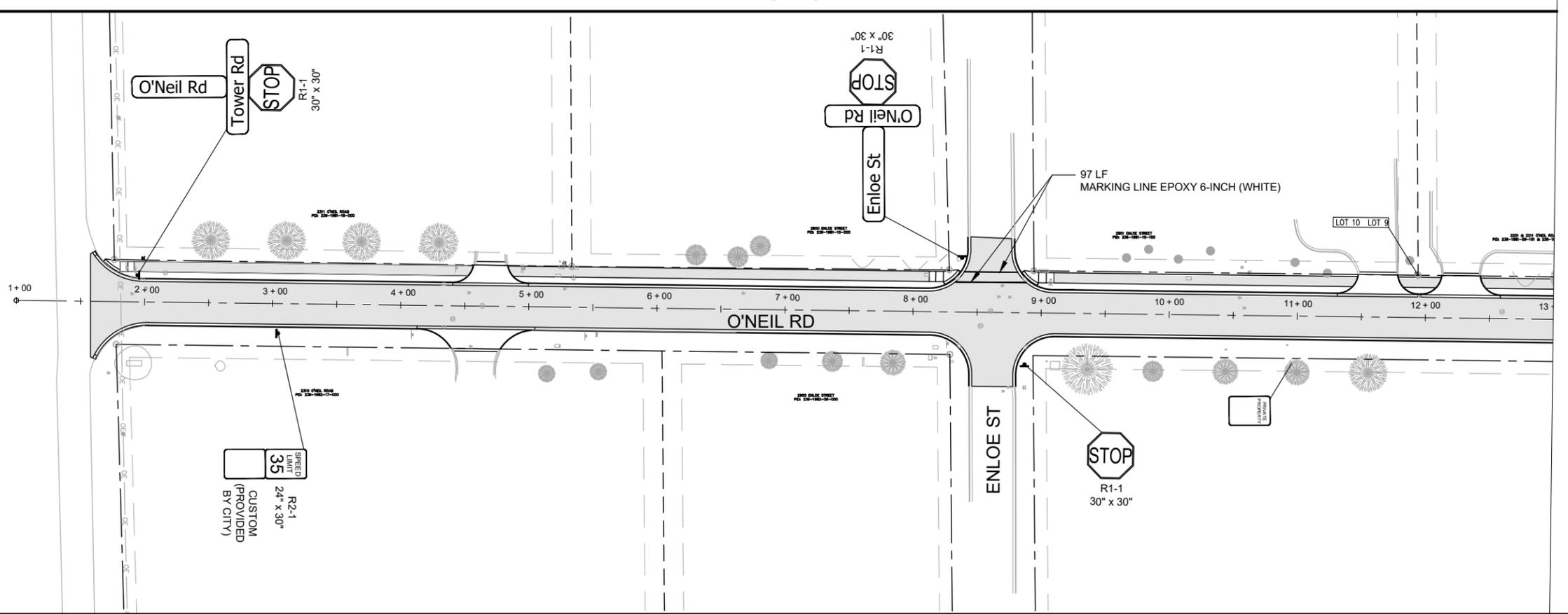
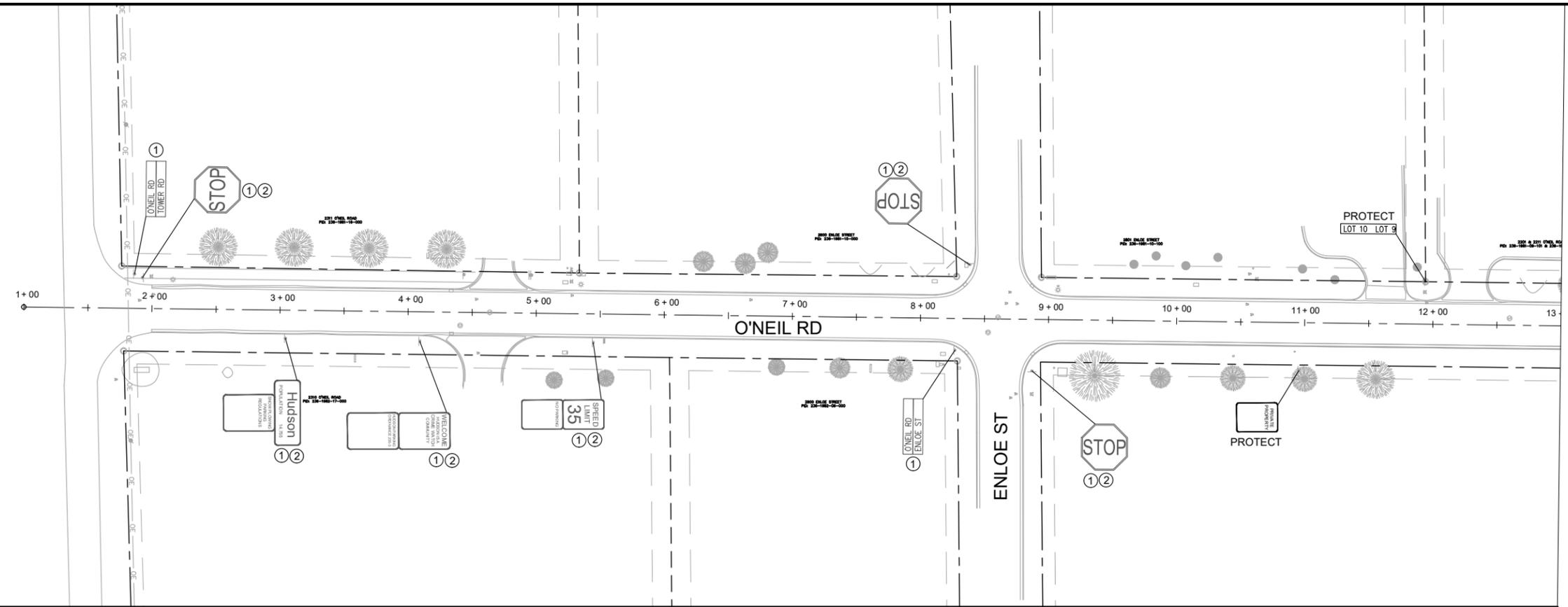
- PROPOSED SIGN
- R1-1 DENOTES SIGN CODE
- 36" x 36" INDICATES SIGN SIZE

- NOTES:**
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 3. ALL WOODEN POSTS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF OFF-SITE.

MATCH LINE
STA. 13+00

REMOVALS

CONSTRUCTION



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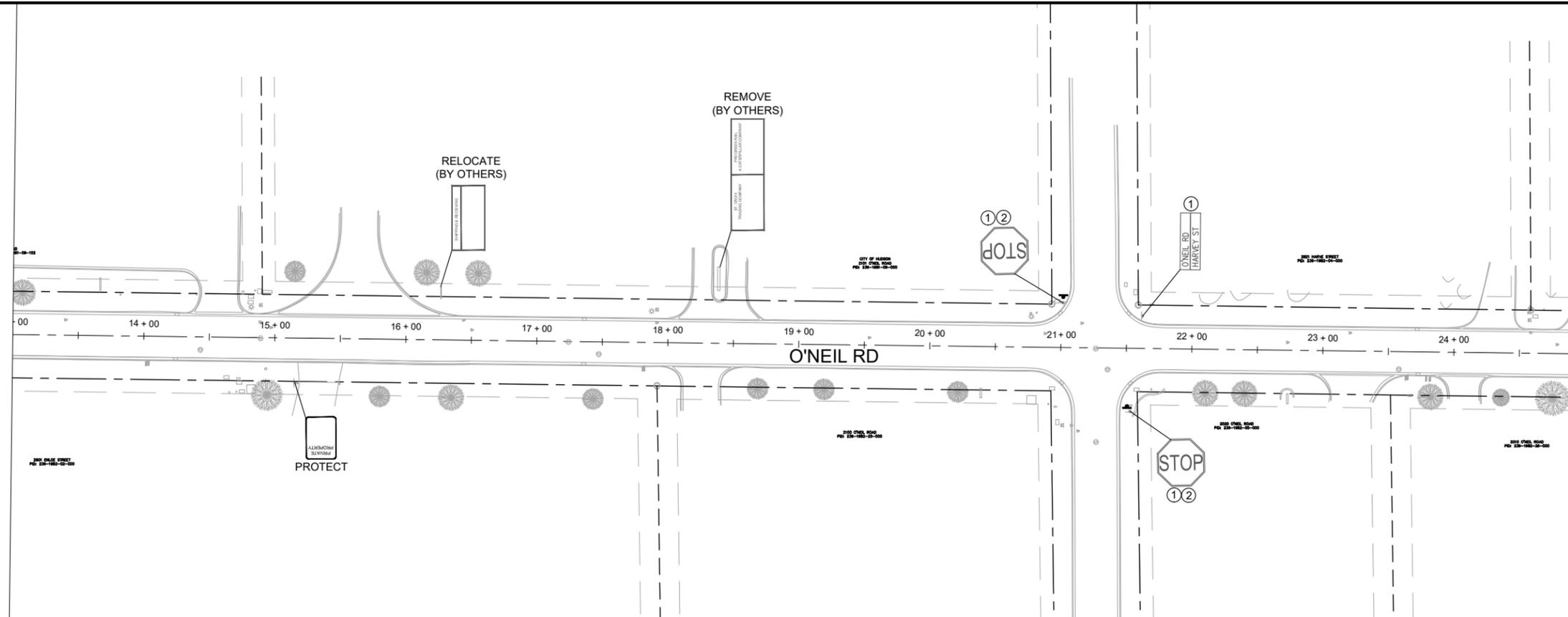


2025 O'NEIL ROAD IMPROVEMENTS
HUDSON, WI

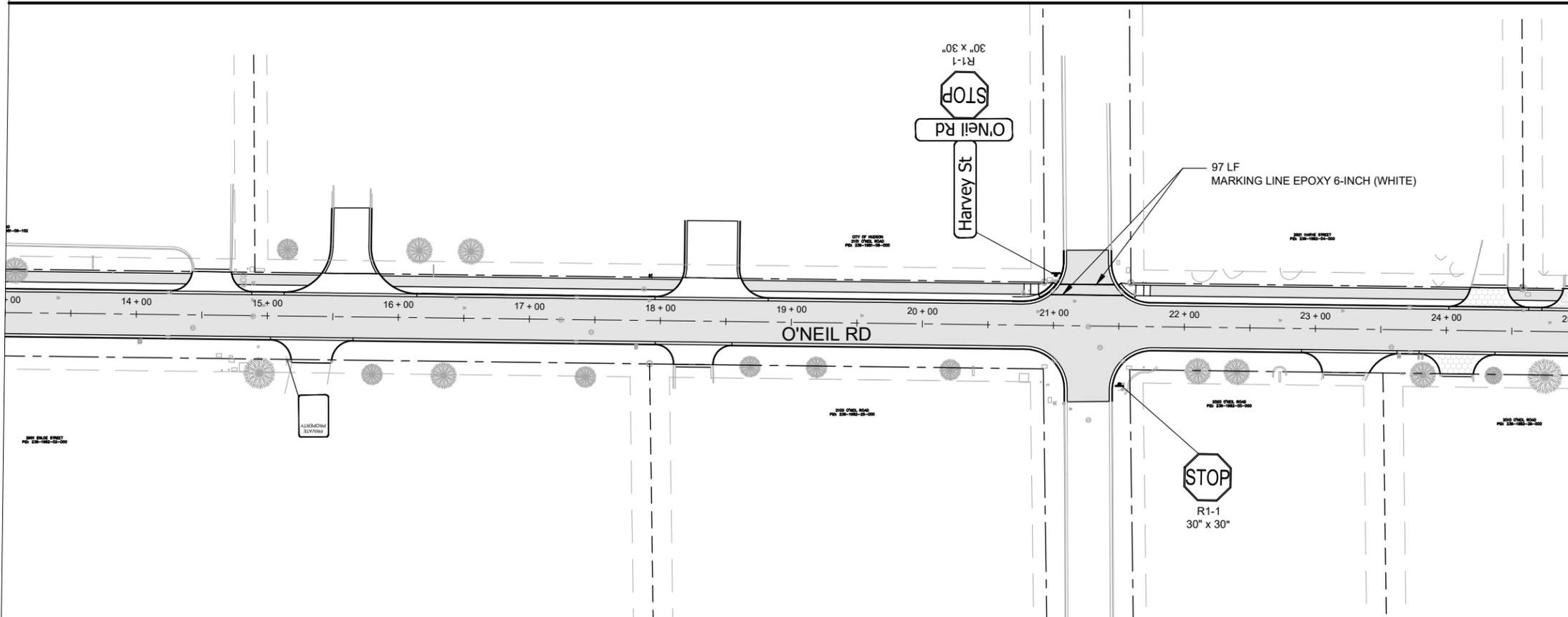
SIGNING AND PAVEMENT MARKING PLAN

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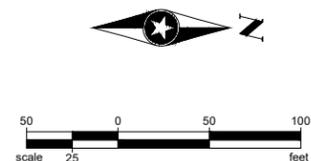
MATCH LINE
STA. 13+00



REMOVALS



CONSTRUCTION



REMOVALS LEGEND

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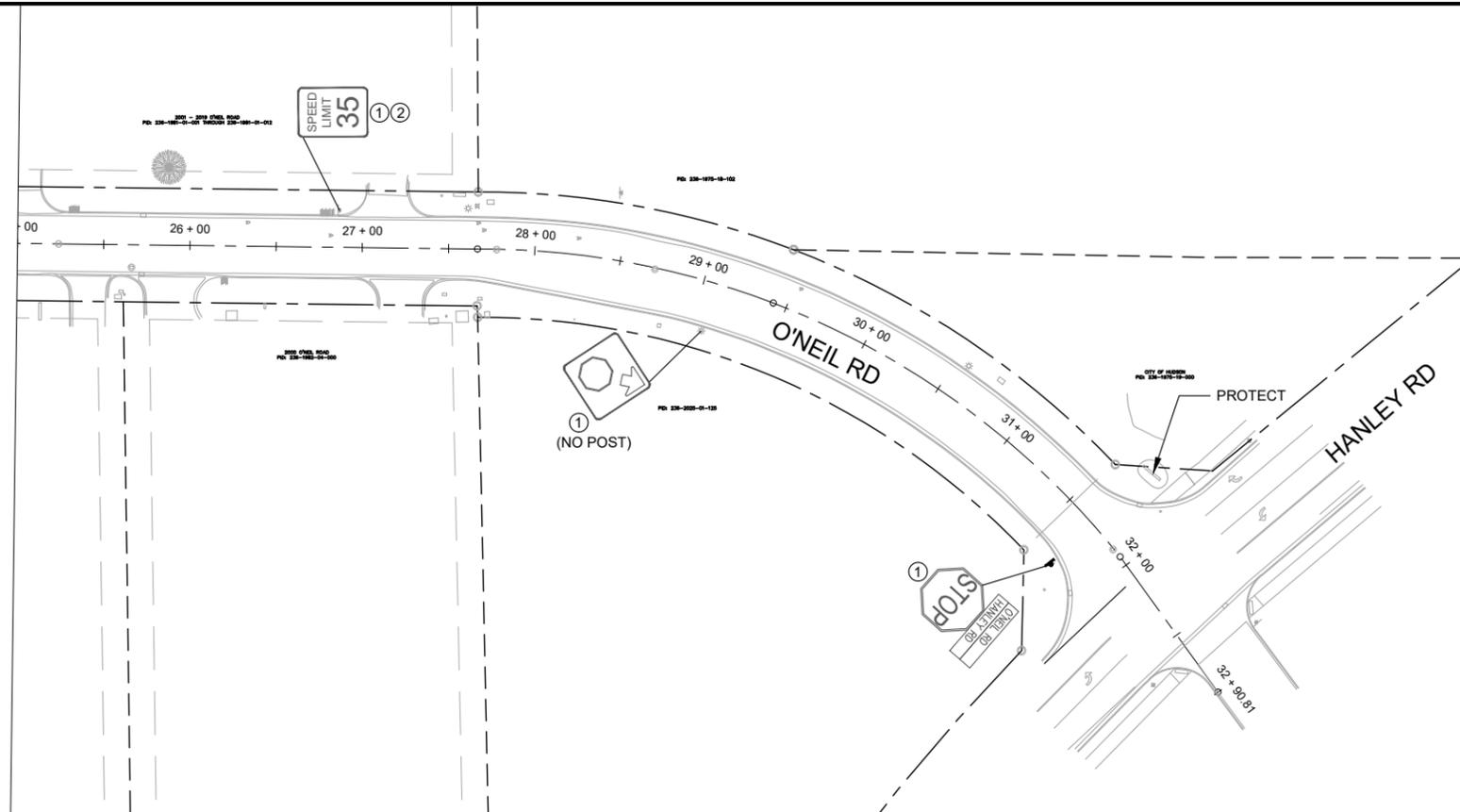
MATCH LINE
STA. 25+00

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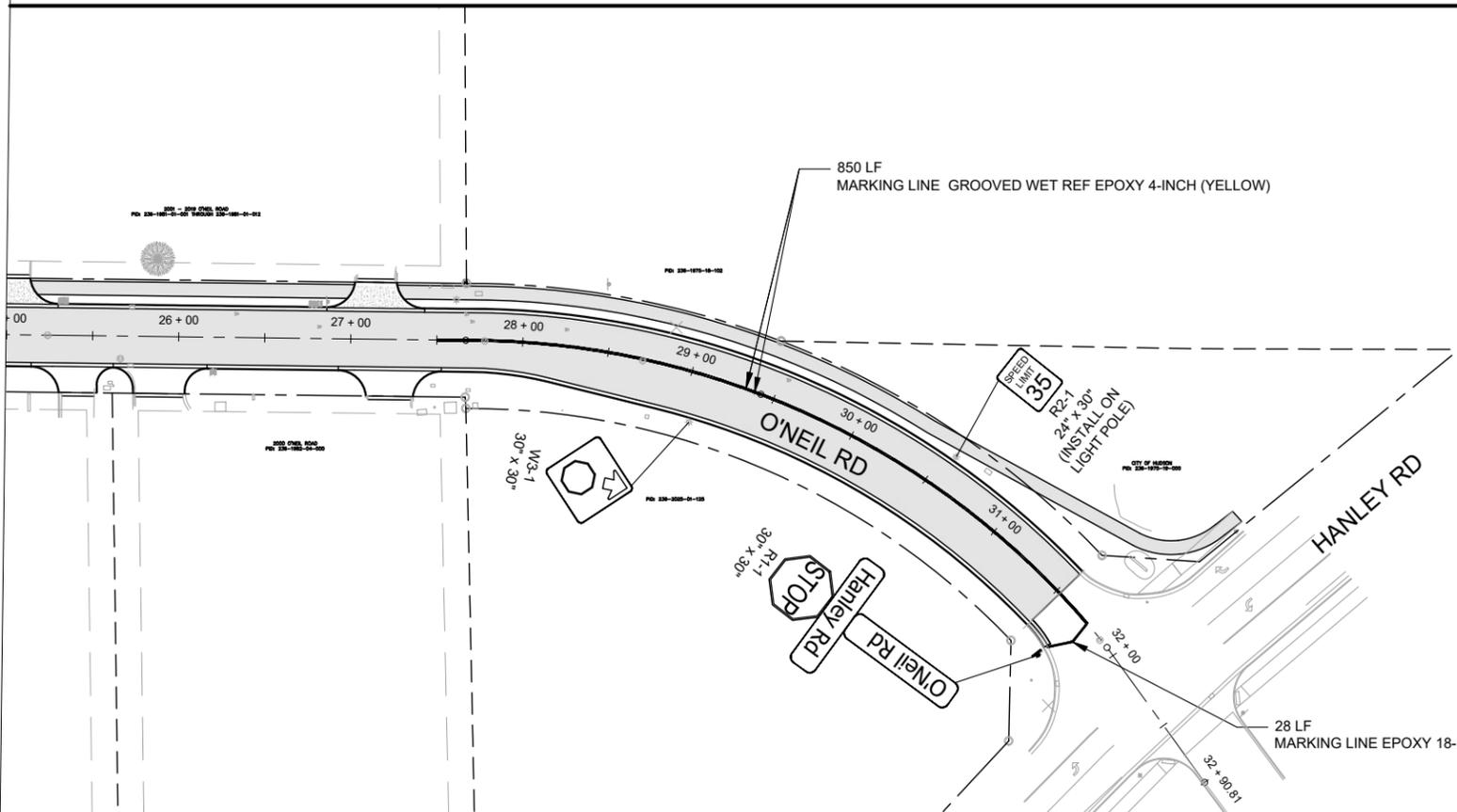
2025 O'NEIL ROAD IMPROVEMENTS
 HUDSON, WI

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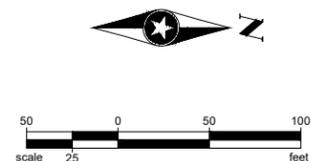
MATCH LINE
STA. 25+00



REMOVALS



CONSTRUCTION



REMOVALS LEGEND

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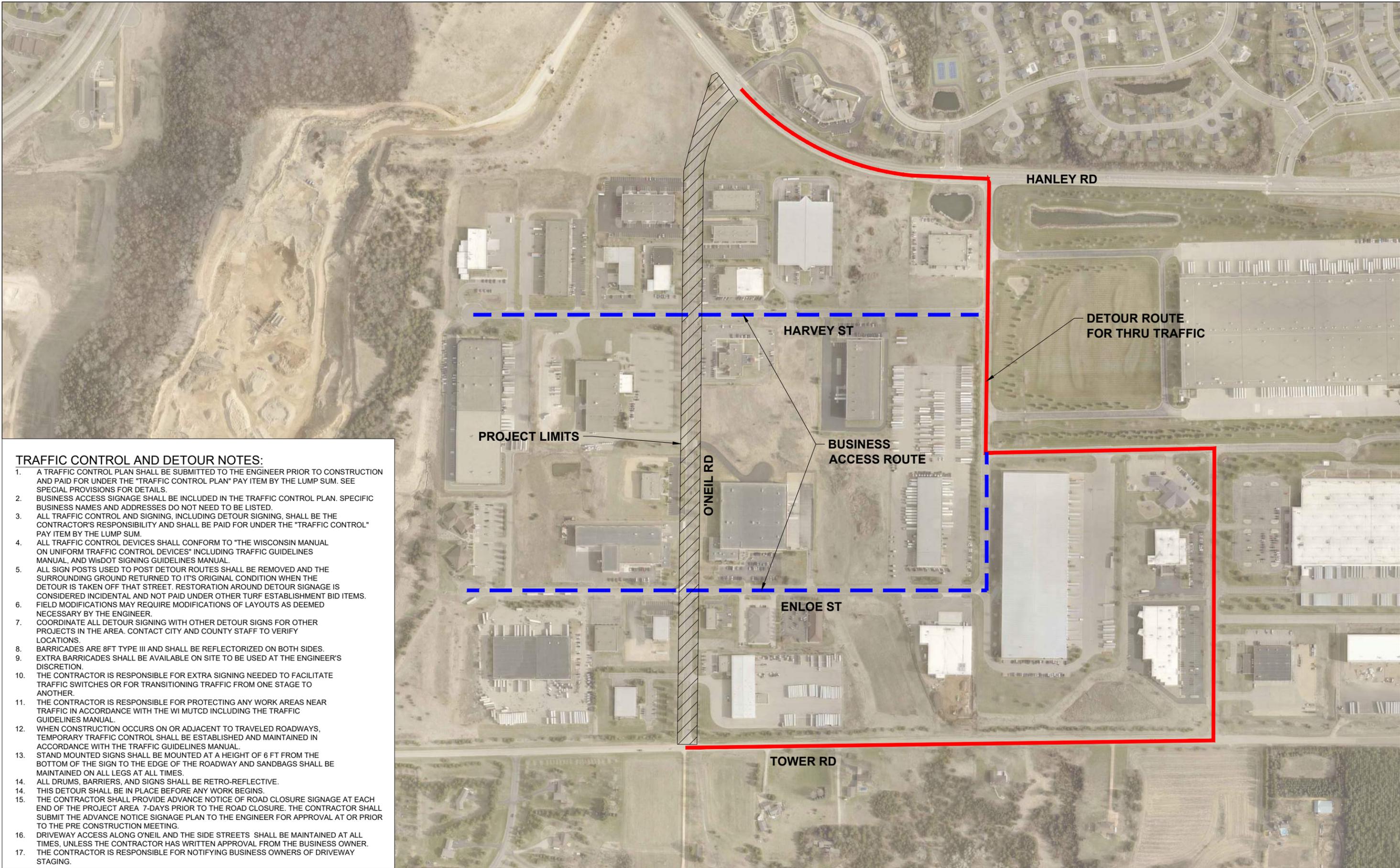
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2025 O'NEIL ROAD IMPROVEMENTS
HUDSON, WI

SIGNING AND PAVEMENT MARKING PLAN
STA. 25+00 TO STA. 31+50

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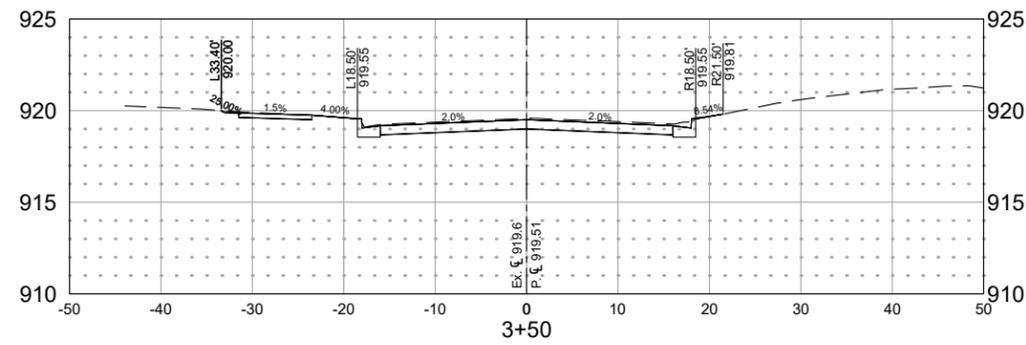
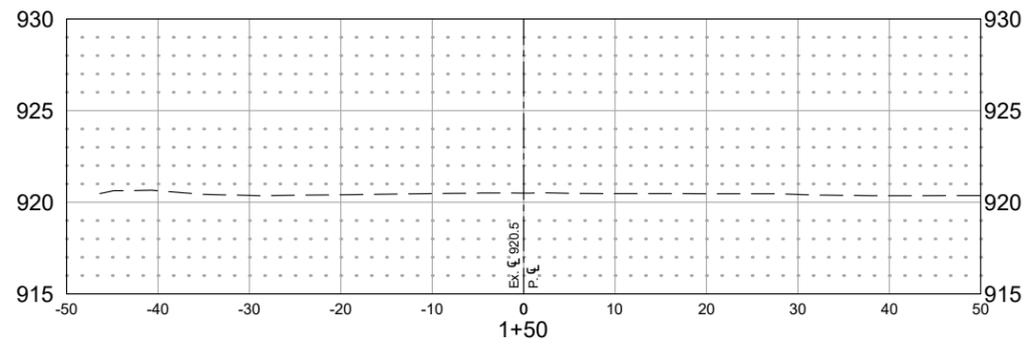
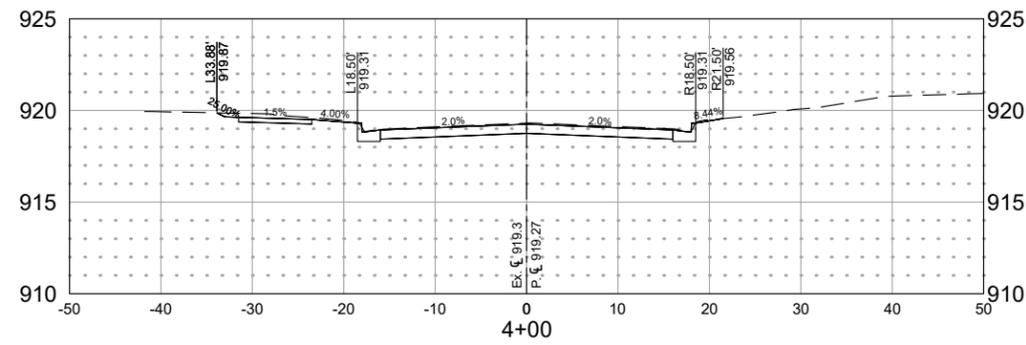
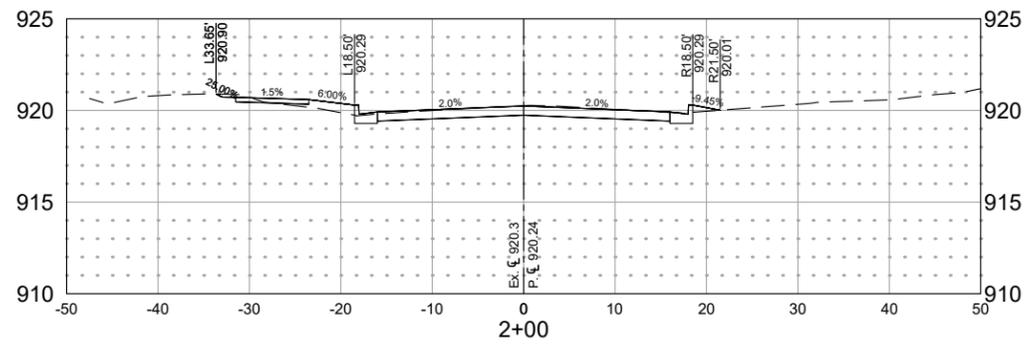
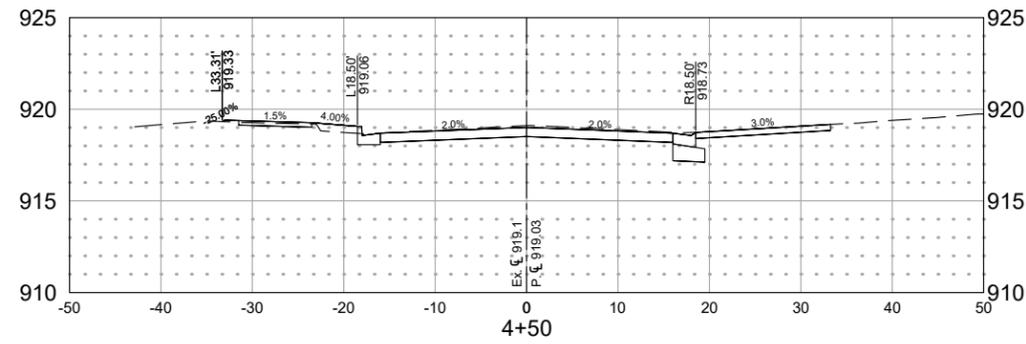
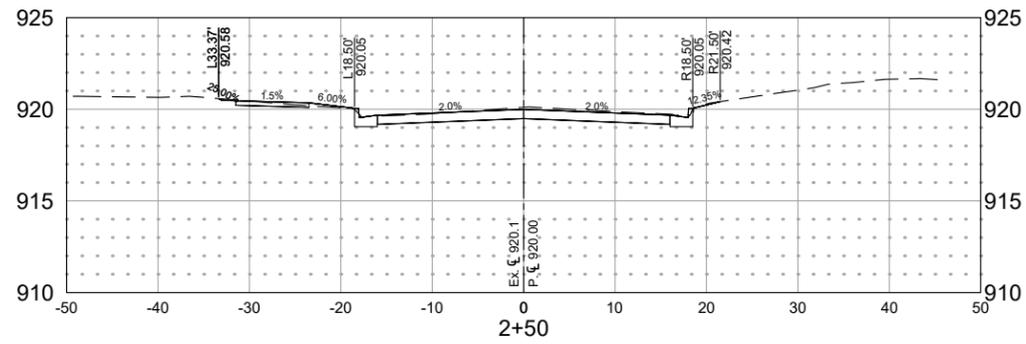
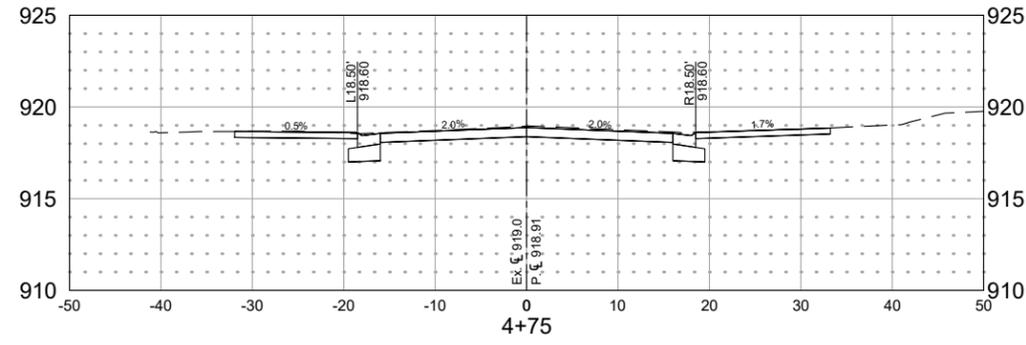
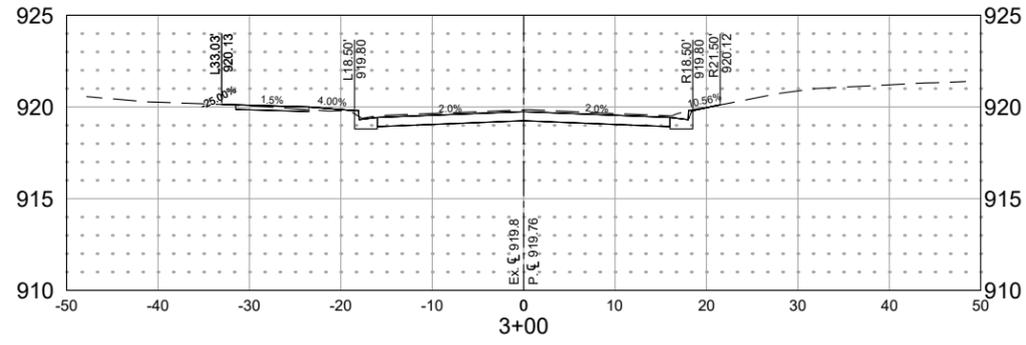


TRAFFIC CONTROL AND DETOUR NOTES:

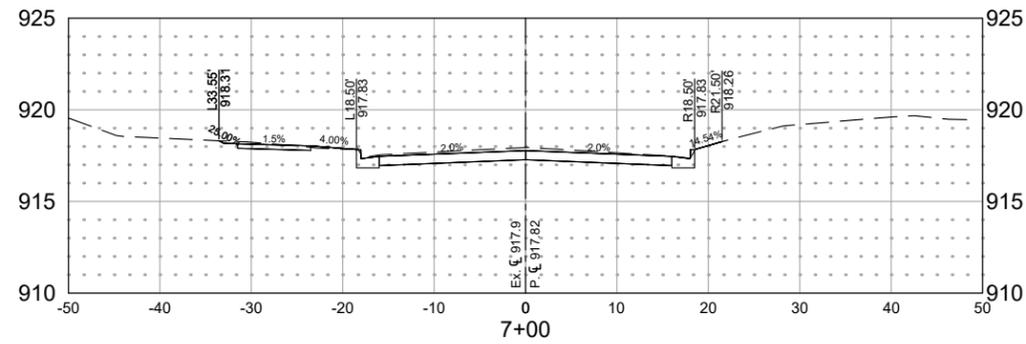
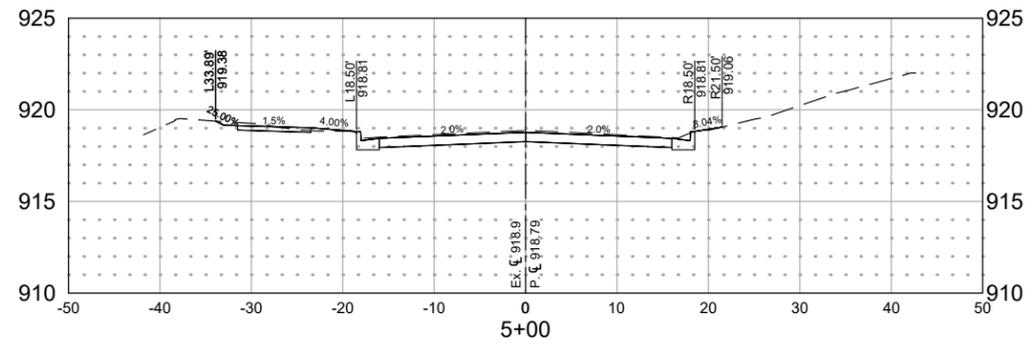
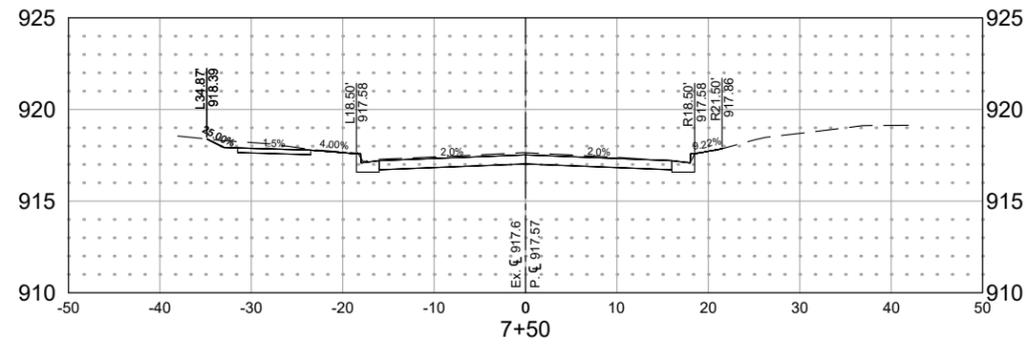
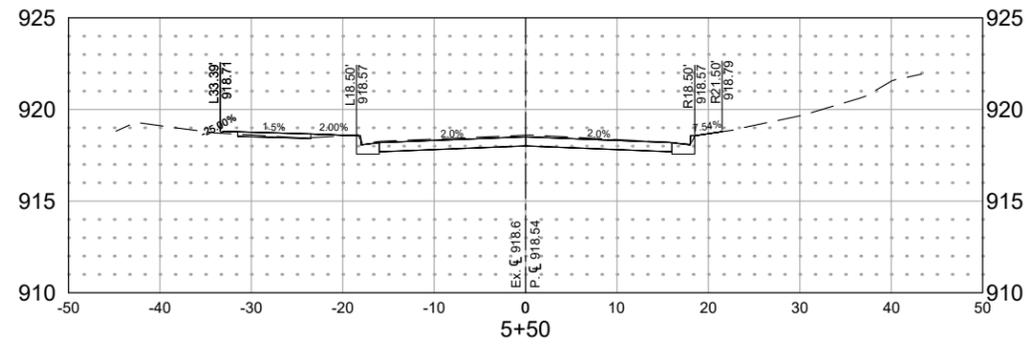
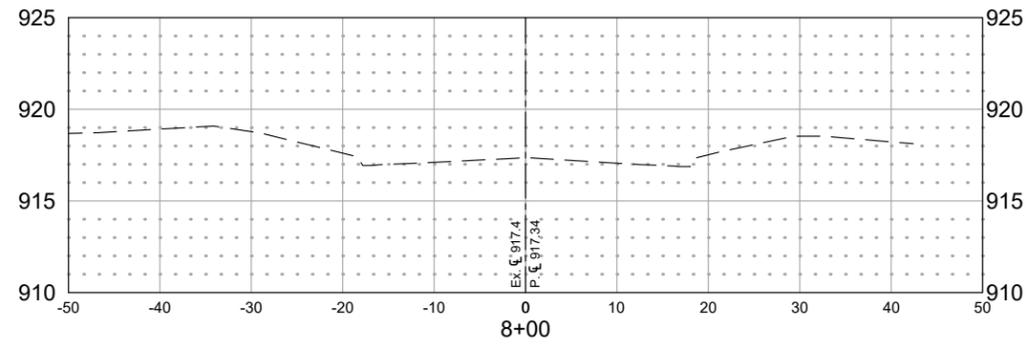
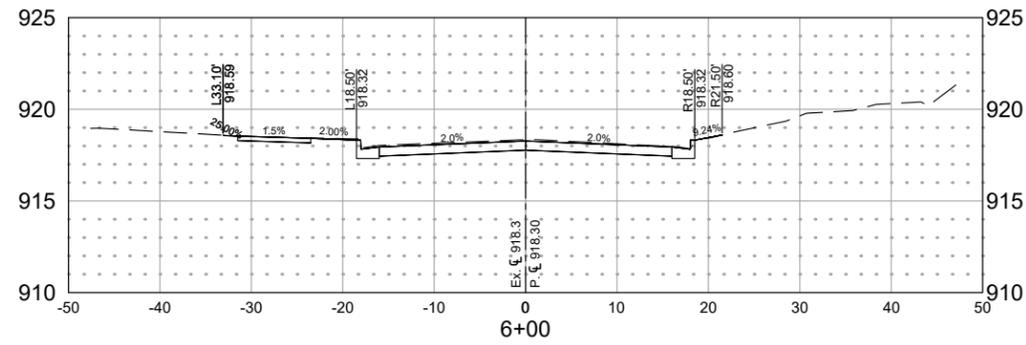
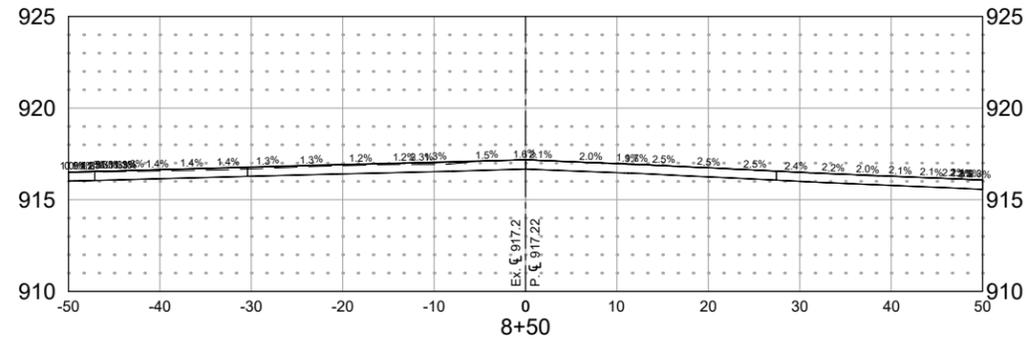
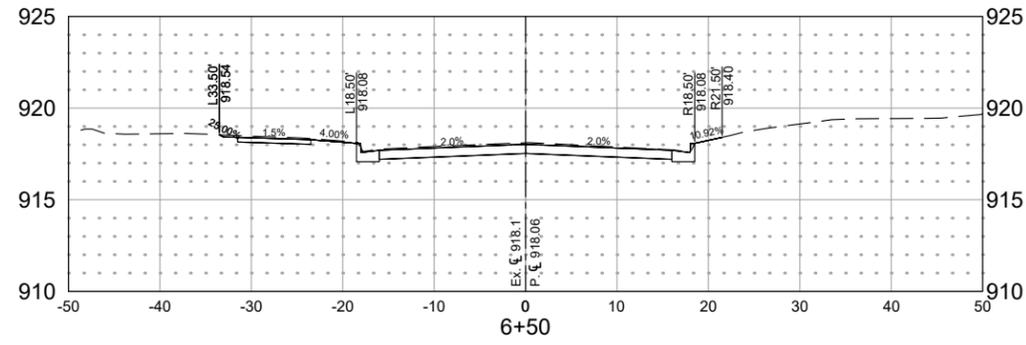
1. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO CONSTRUCTION AND PAID FOR UNDER THE "TRAFFIC CONTROL PLAN" PAY ITEM BY THE LUMP SUM. SEE SPECIAL PROVISIONS FOR DETAILS.
2. BUSINESS ACCESS SIGNAGE SHALL BE INCLUDED IN THE TRAFFIC CONTROL PLAN. SPECIFIC BUSINESS NAMES AND ADDRESSES DO NOT NEED TO BE LISTED.
3. ALL TRAFFIC CONTROL AND SIGNING, INCLUDING DETOUR SIGNING, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PAID FOR UNDER THE "TRAFFIC CONTROL" PAY ITEM BY THE LUMP SUM.
4. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO "THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" INCLUDING TRAFFIC GUIDELINES MANUAL, AND WisDOT SIGNING GUIDELINES MANUAL.
5. ALL SIGN POSTS USED TO POST DETOUR ROUTES SHALL BE REMOVED AND THE SURROUNDING GROUND RETURNED TO ITS ORIGINAL CONDITION WHEN THE DETOUR IS TAKEN OFF THAT STREET. RESTORATION AROUND DETOUR SIGNAGE IS CONSIDERED INCIDENTAL AND NOT PAID UNDER OTHER TURF ESTABLISHMENT BID ITEMS. FIELD MODIFICATIONS MAY REQUIRE MODIFICATIONS OF LAYOUTS AS DEEMED NECESSARY BY THE ENGINEER.
7. COORDINATE ALL DETOUR SIGNING WITH OTHER DETOUR SIGNS FOR OTHER PROJECTS IN THE AREA. CONTACT CITY AND COUNTY STAFF TO VERIFY LOCATIONS.
8. BARRICADES ARE 8FT TYPE III AND SHALL BE REFLECTORIZED ON BOTH SIDES.
9. EXTRA BARRICADES SHALL BE AVAILABLE ON SITE TO BE USED AT THE ENGINEER'S DISCRETION.
10. THE CONTRACTOR IS RESPONSIBLE FOR EXTRA SIGNING NEEDED TO FACILITATE TRAFFIC SWITCHES OR FOR TRANSITIONING TRAFFIC FROM ONE STAGE TO ANOTHER.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY WORK AREAS NEAR TRAFFIC IN ACCORDANCE WITH THE WI MUTCD INCLUDING THE TRAFFIC GUIDELINES MANUAL.
12. WHEN CONSTRUCTION OCCURS ON OR ADJACENT TO TRAVELED ROADWAYS, TEMPORARY TRAFFIC CONTROL SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH THE TRAFFIC GUIDELINES MANUAL.
13. STAND MOUNTED SIGNS SHALL BE MOUNTED AT A HEIGHT OF 6 FT FROM THE BOTTOM OF THE SIGN TO THE EDGE OF THE ROADWAY AND SANDBAGS SHALL BE MAINTAINED ON ALL LEGS AT ALL TIMES.
14. ALL DRUMS, BARRIERS, AND SIGNS SHALL BE RETRO-REFLECTIVE.
14. THIS DETOUR SHALL BE IN PLACE BEFORE ANY WORK BEGINS.
15. THE CONTRACTOR SHALL PROVIDE ADVANCE NOTICE OF ROAD CLOSURE SIGNAGE AT EACH END OF THE PROJECT AREA 7-DAYS PRIOR TO THE ROAD CLOSURE. THE CONTRACTOR SHALL SUBMIT THE ADVANCE NOTICE SIGNAGE PLAN TO THE ENGINEER FOR APPROVAL AT OR PRIOR TO THE PRE CONSTRUCTION MEETING.
16. DRIVEWAY ACCESS ALONG O'NEIL AND THE SIDE STREETS SHALL BE MAINTAINED AT ALL TIMES, UNLESS THE CONTRACTOR HAS WRITTEN APPROVAL FROM THE BUSINESS OWNER.
17. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING BUSINESS OWNERS OF DRIVEWAY STAGING.

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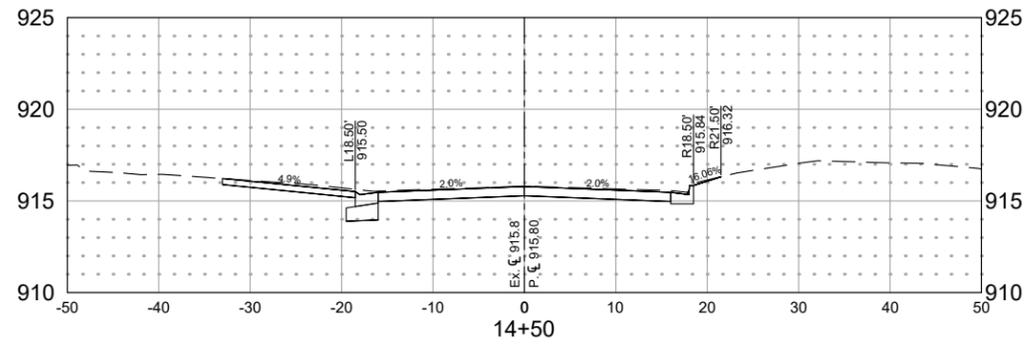
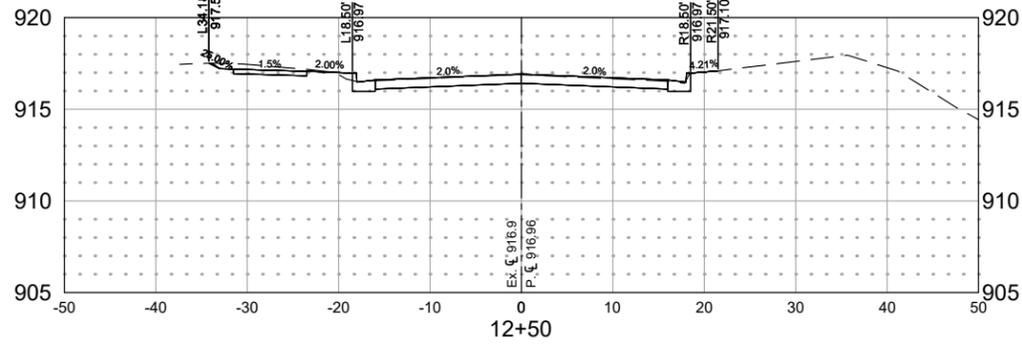
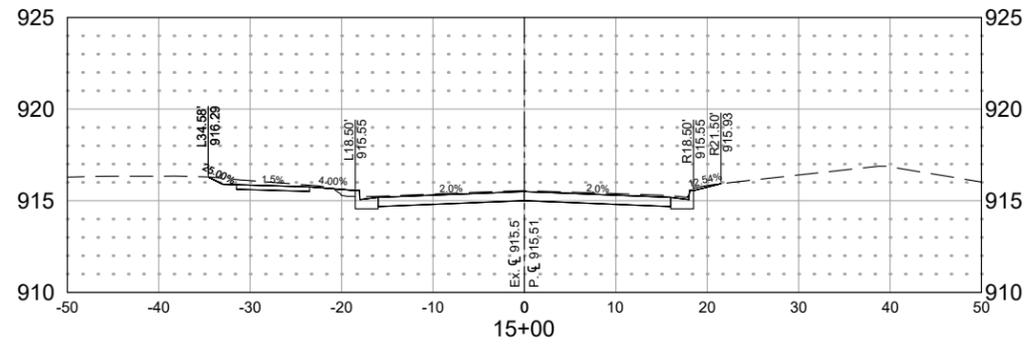
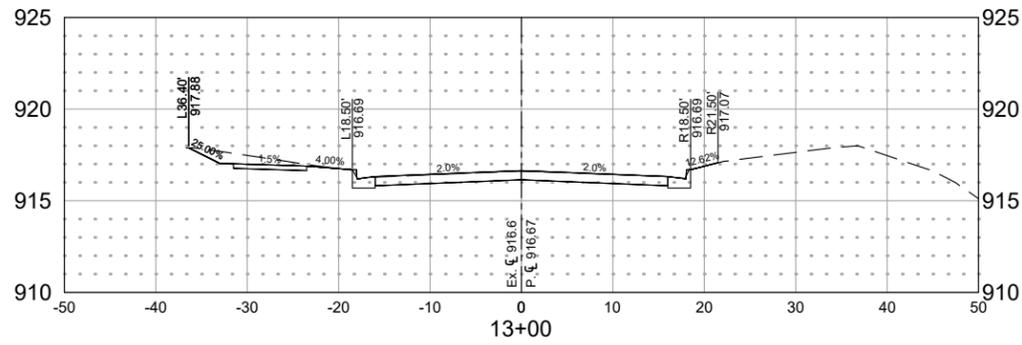
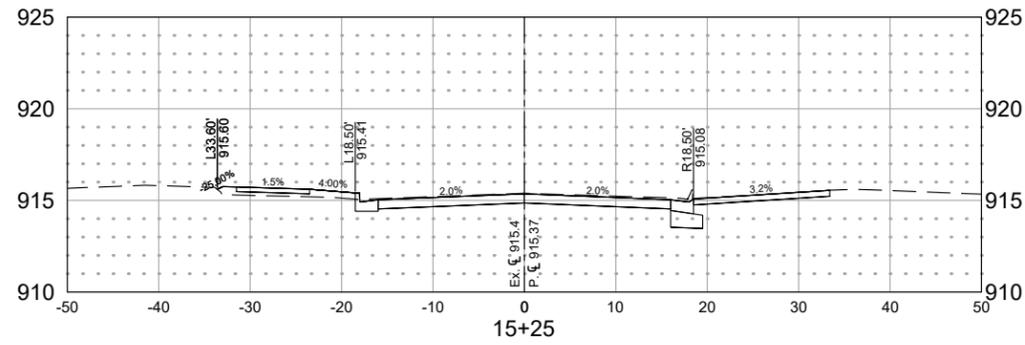
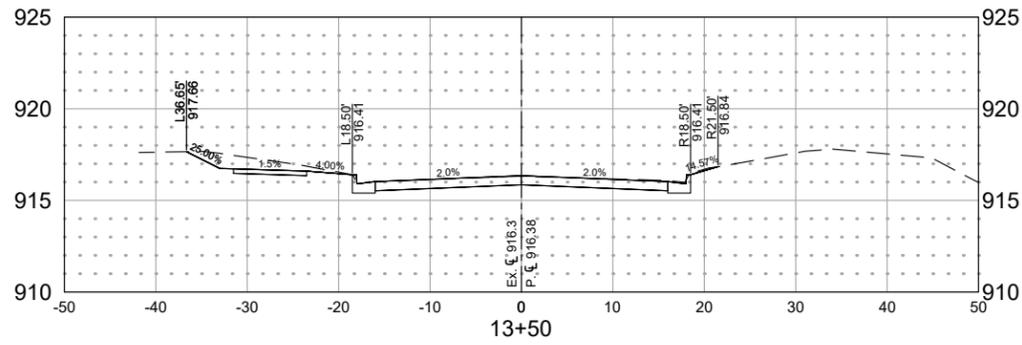
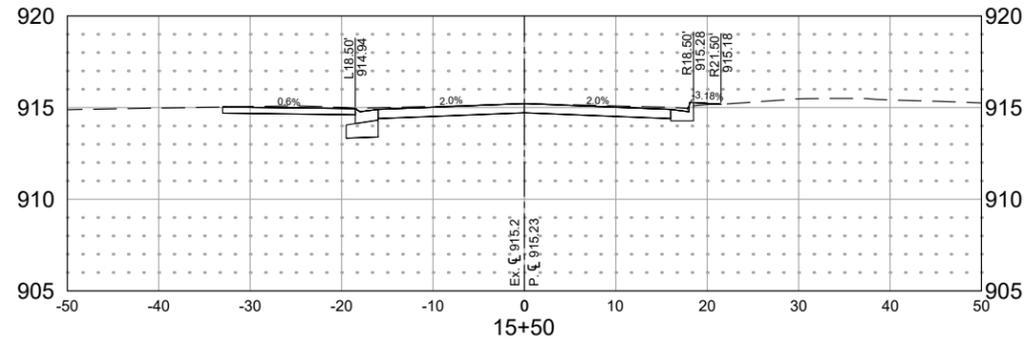
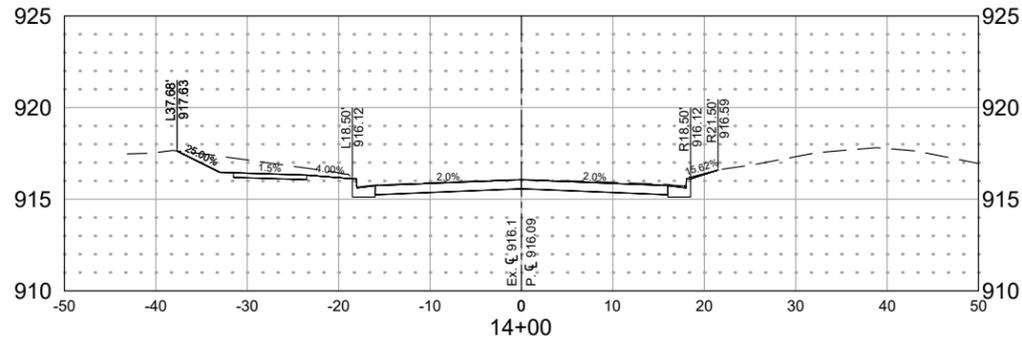
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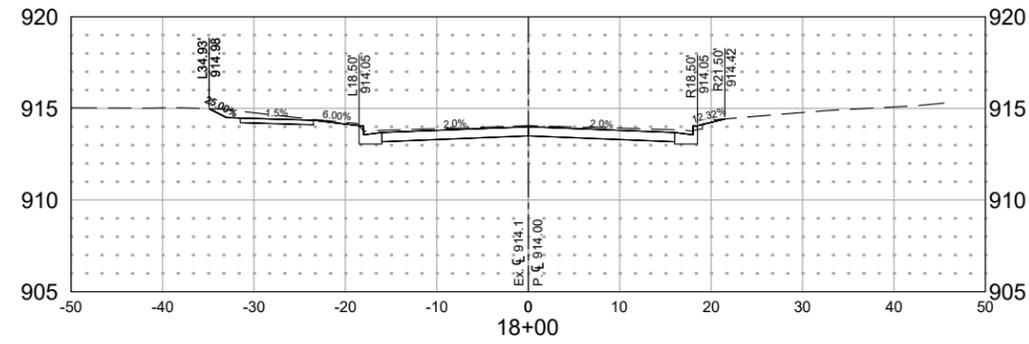
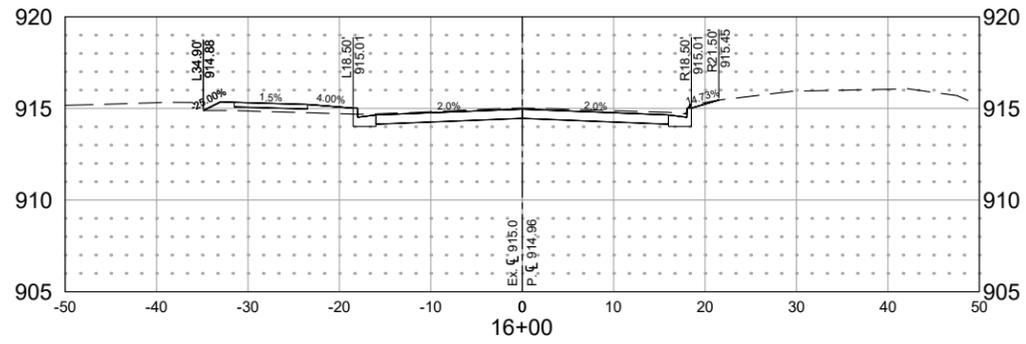
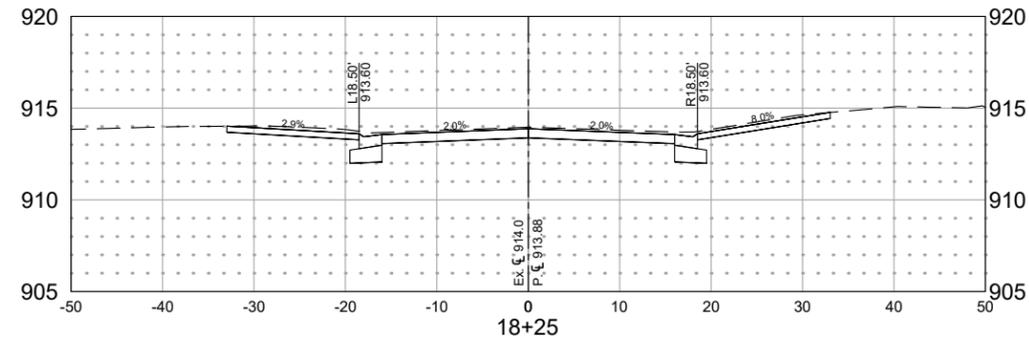
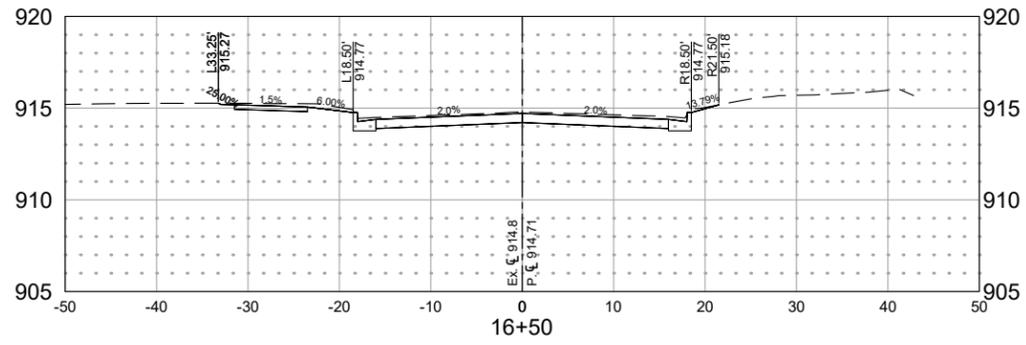
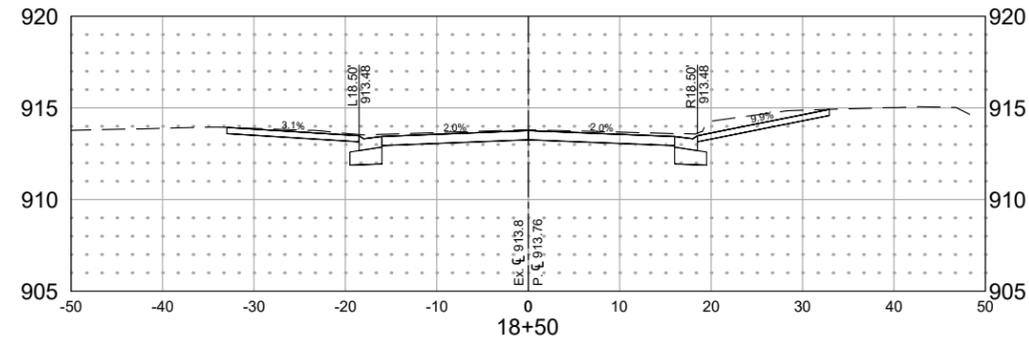
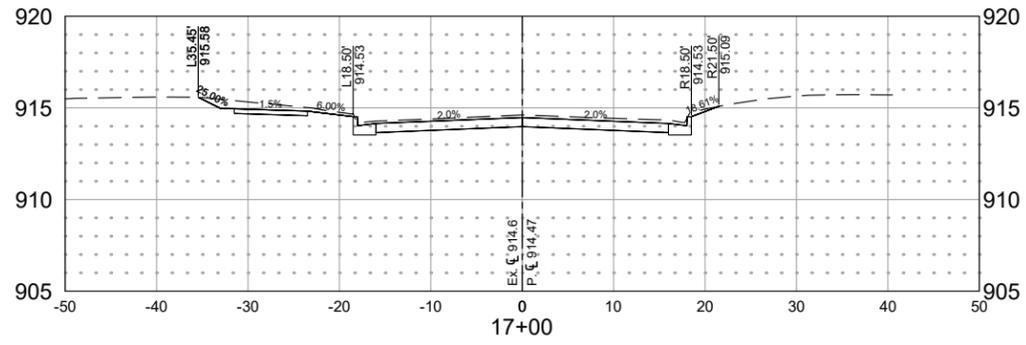
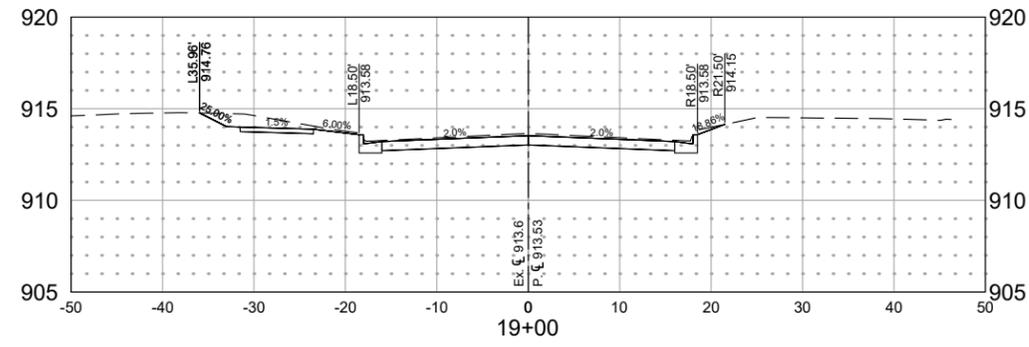
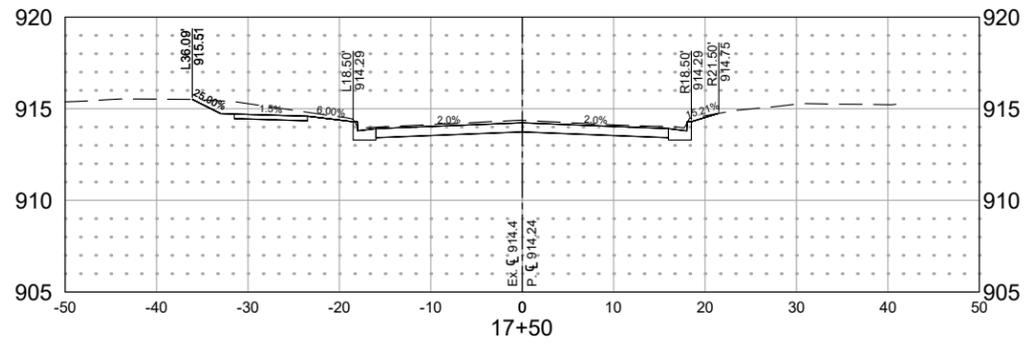


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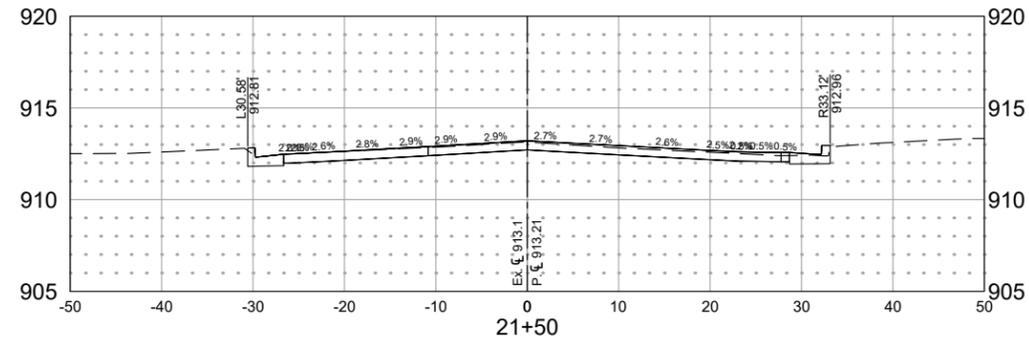
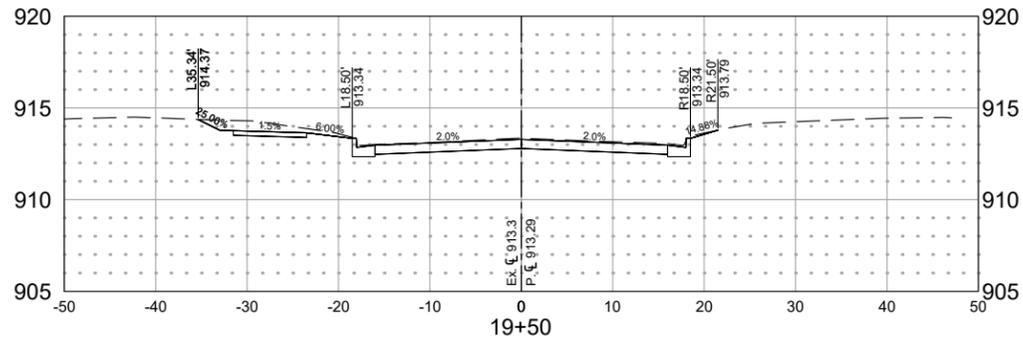
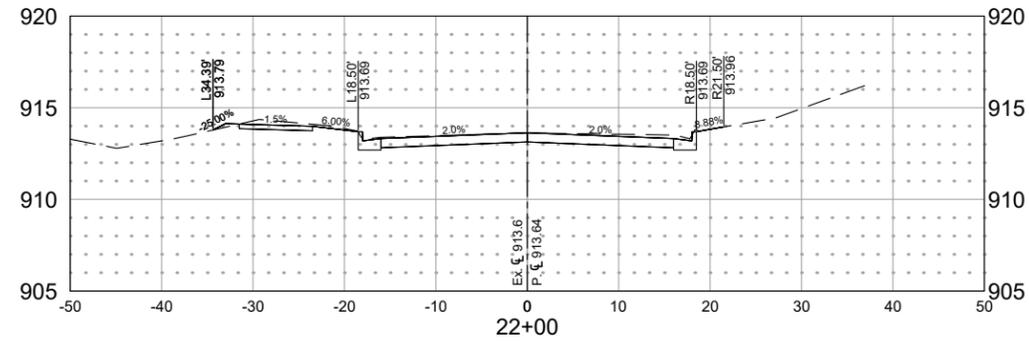
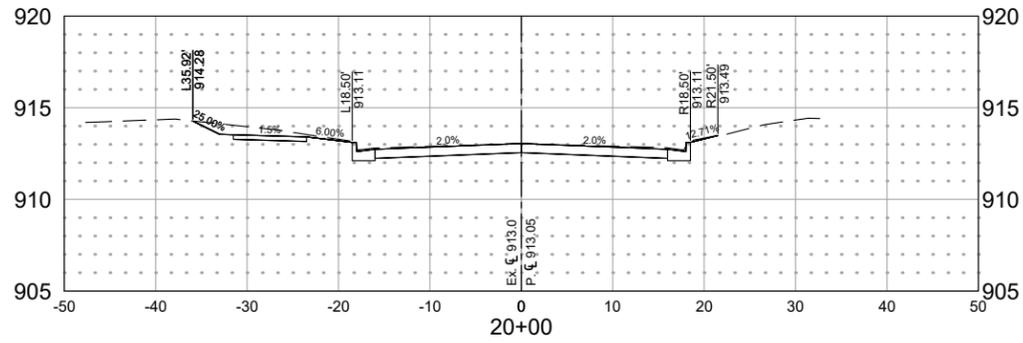
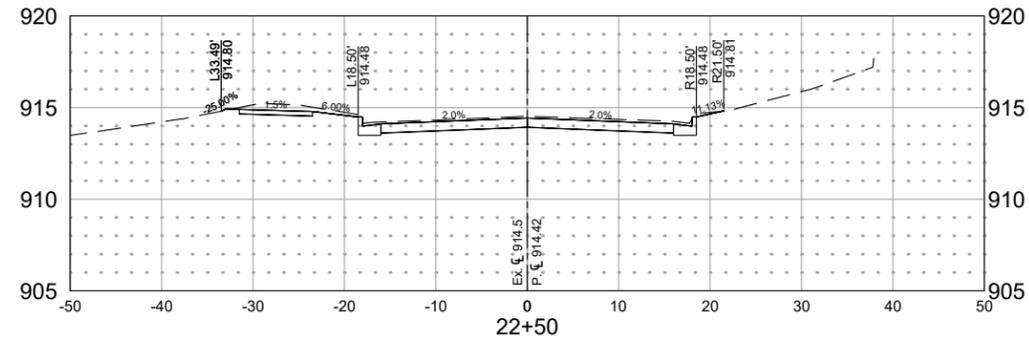
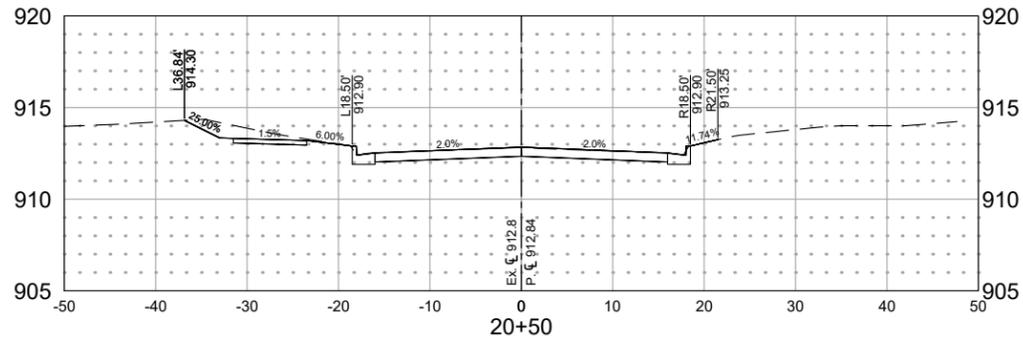
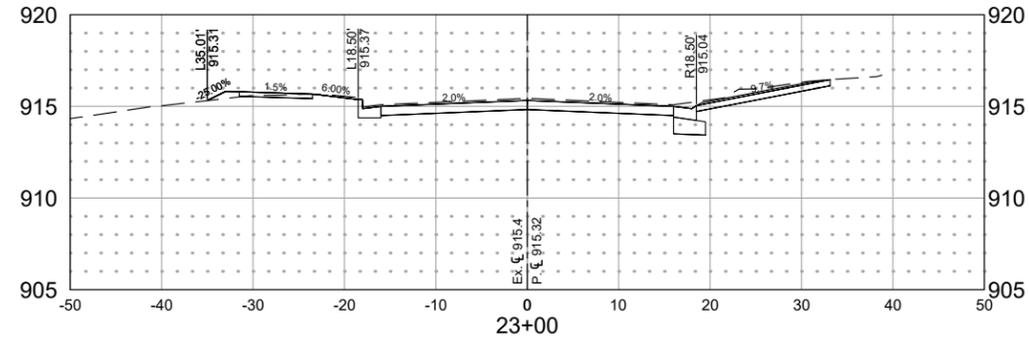
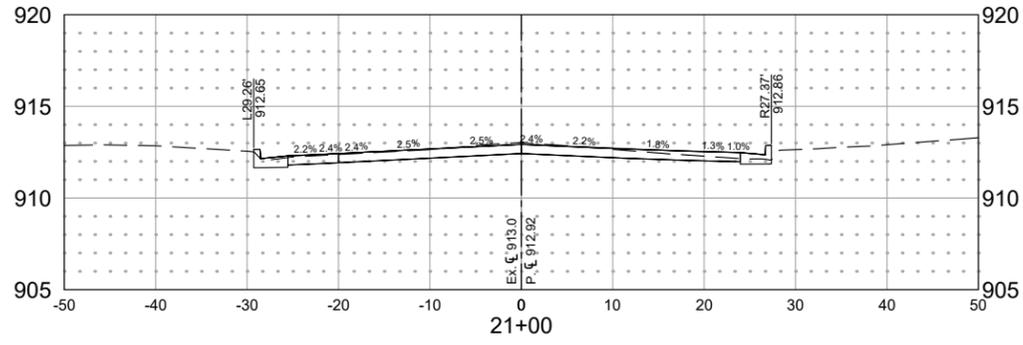


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STA: 12+50.00 - STA: 15+50.00

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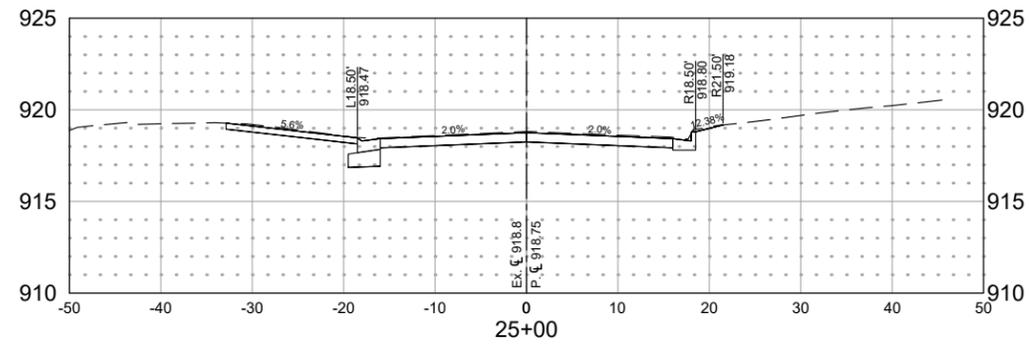
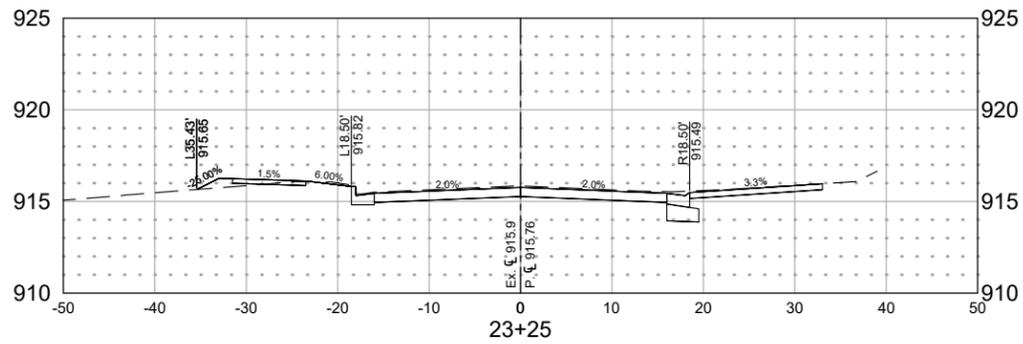
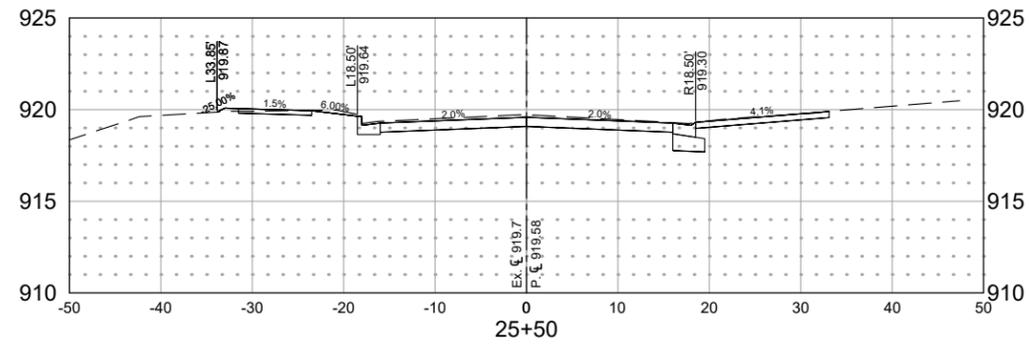
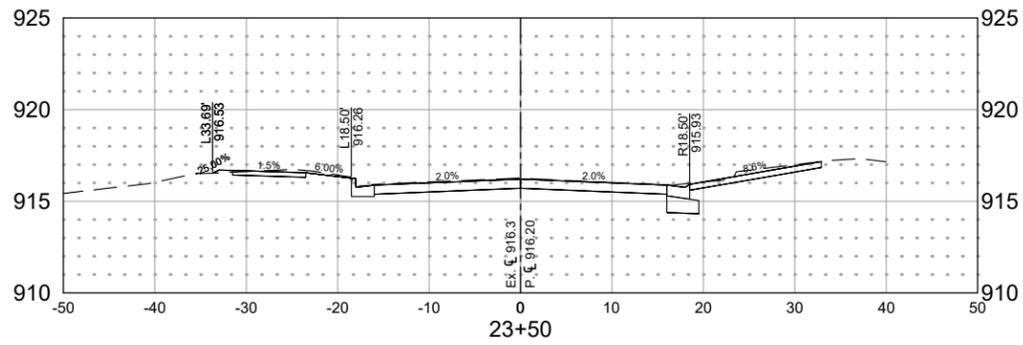
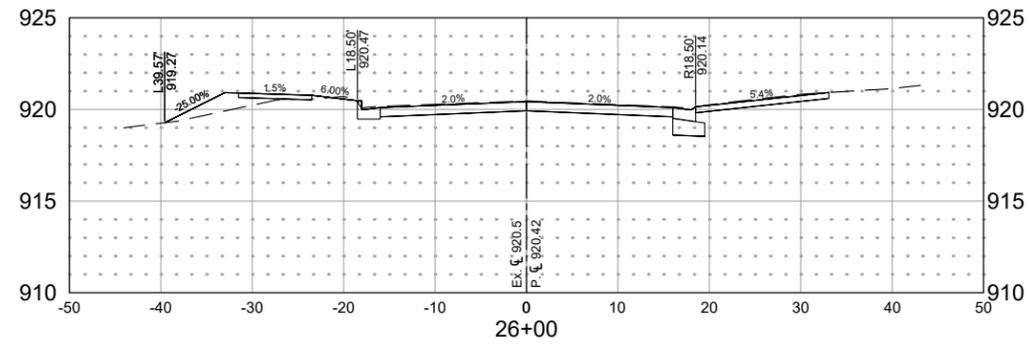
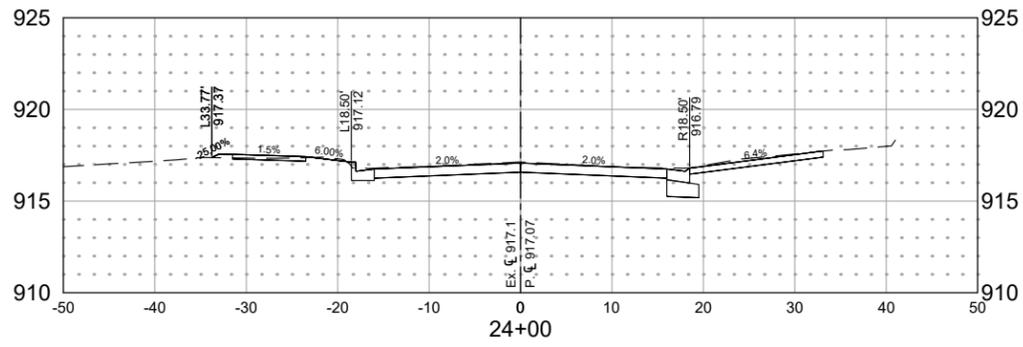
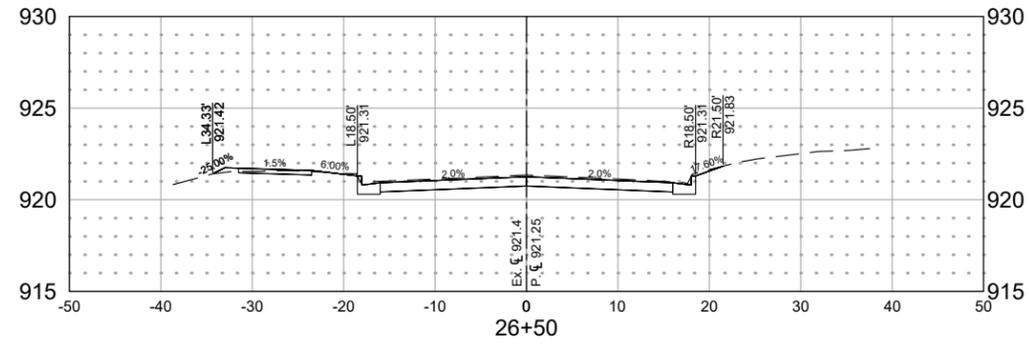
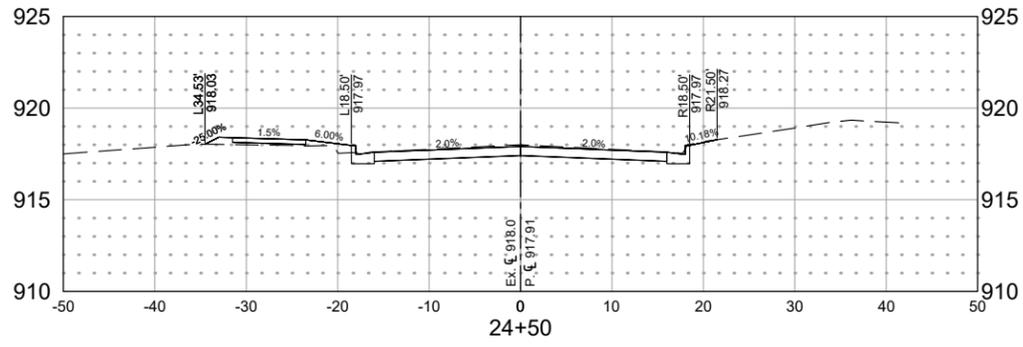


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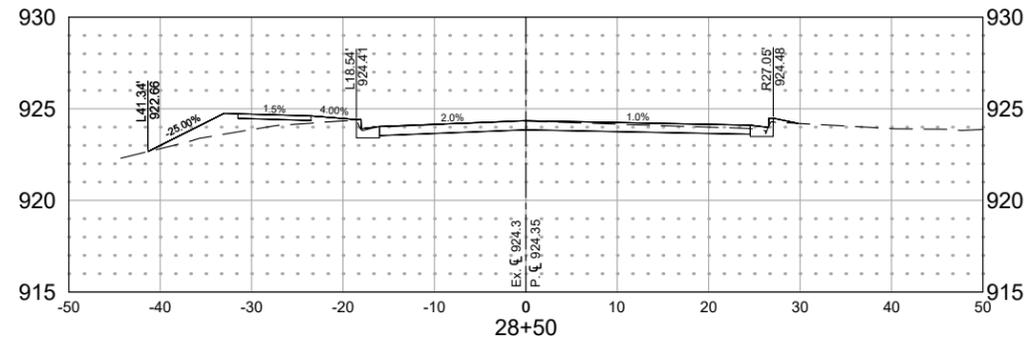
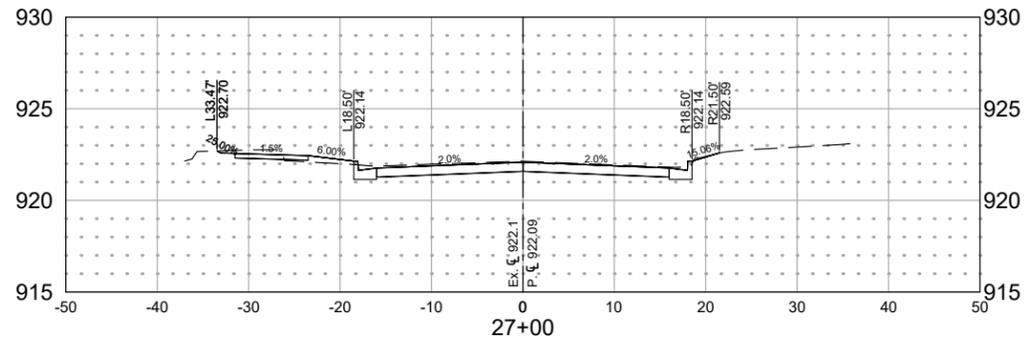
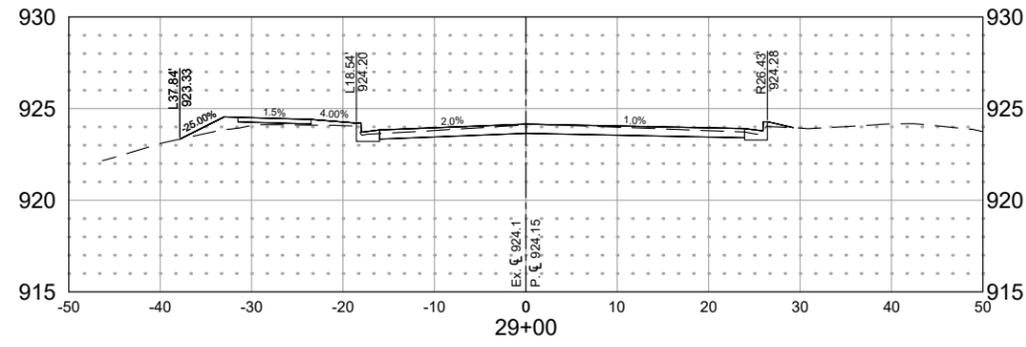
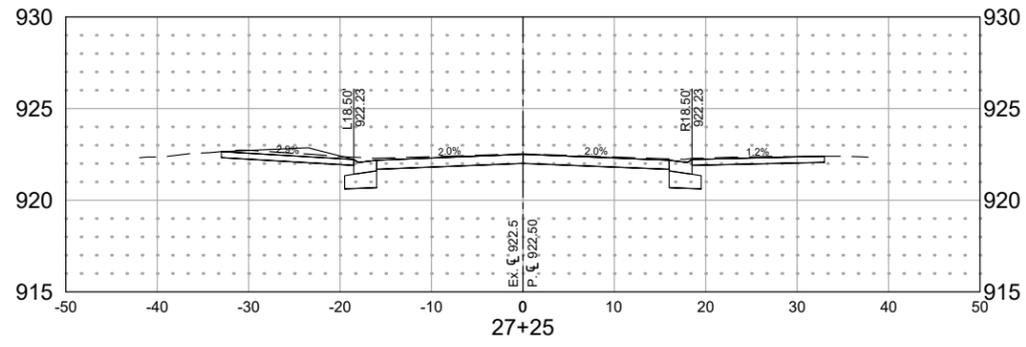
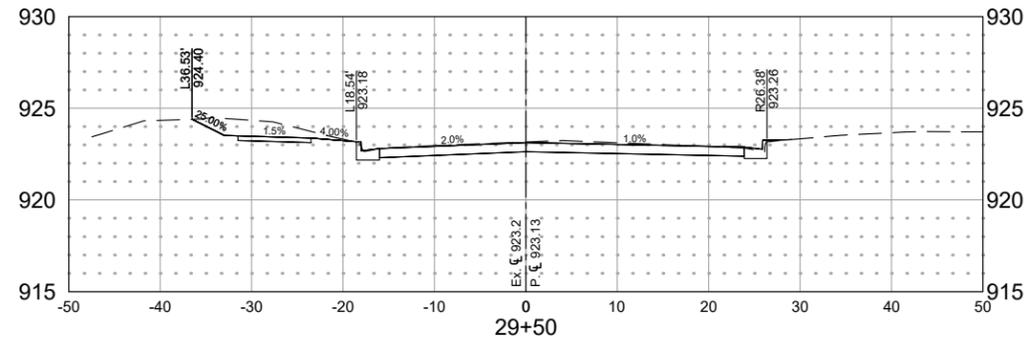
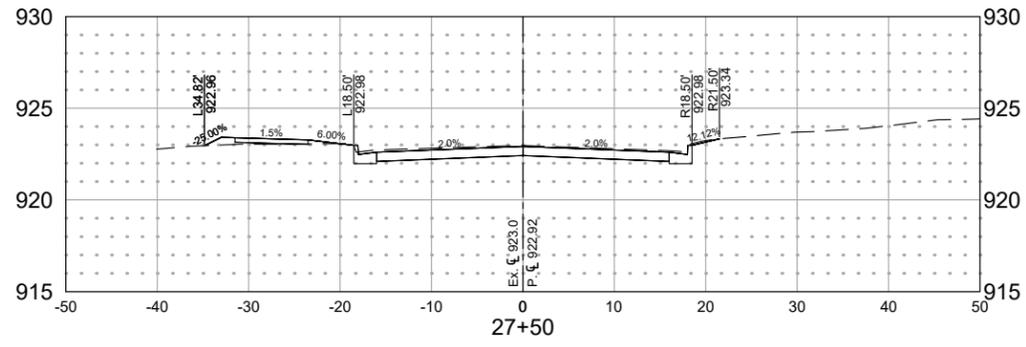
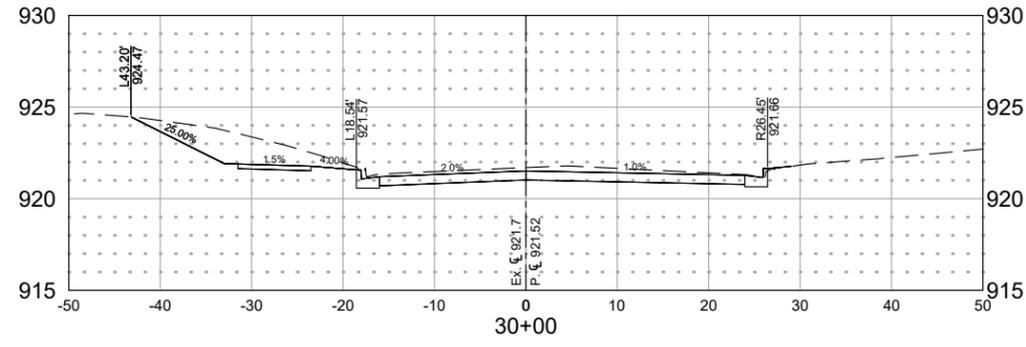
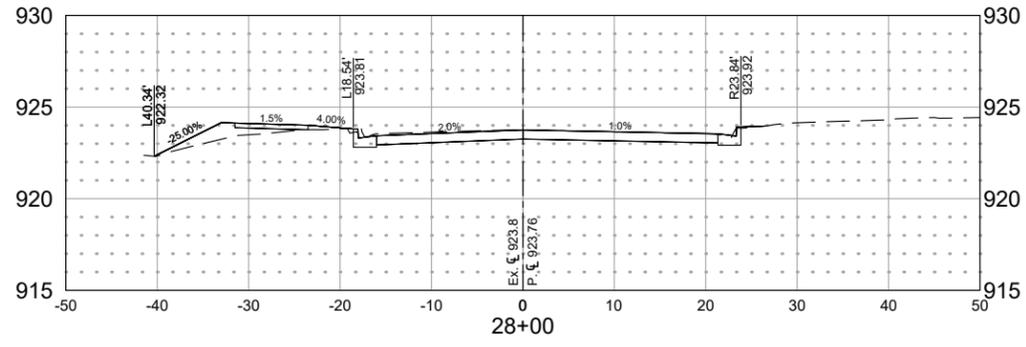


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